### **ADDENDUM #3**

### 1.1 PROJECT INFORMATION

A. Project Number: 2021-10656

B. Project Title: 2022 Service Change Bus Stops, Phase 1

C. Project Location: Spokane County

D. Agency: Spokane Transit Authority

### 1.2 NOTICE TO BIDDERS

- A. The following clarifications, changes, additions, and/or deletions are considered as Addendum #3 and are hereby made a party of the contract documents. All bidders are required to base their bid upon the information furnished in this addendum and as required in the contract documents. The Contractor is required to acknowledge Addendum #1, #2, and #3 in their company proposal. Failure to acknowledge any addendum on the bid form will result in the bid proposal being declared non-responsive.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. All communications shall be directed to Ryan Brodwater as listed in the bid documents at rbrodwater@spokanetransit.com or by telephone at 509-343-1693

### 1.3 CLARIFICATIONS / GENERAL

- A. <u>Permitting:</u> The contractor is responsible for applying for required jurisdictional permits. The cost of these permits are not part of contractors bid, and will be reimbursed by Owner through separate invoice. (Section 002100, 1.3(B)).
- B. <u>Shelters:</u> Any existing shelters will be removed by STA prior to contractor beginning work. New shelters will be procured, purchased, and installed by STA.

### 1.4 REVISIONS/CLARIFICATIONS TO PLAN AND SPECIFICATIONS SECTIONS

- A. <u>Updated Construction Plans:</u> Updated plan sheets which are incorporated as part of this Addendum and shall be used for bid and construction.
- 1.5 QUESTIONS / ANSWERS (from the Pre-Bid Meeting, Emails, and Phone Calls)

Question 01: Who will provide site survey and/or staking?

**Answer 01:** Any necessary site survey, measuring, and/or staking for construction shall be provided by the Contractor.

**Question 02:** Who is responsible for geotechnical testing?

**Answer 02:** Owner shall provide agency-required geotechnical testing through third-party contract. Contractor shall provide any additional testing for the purpose of internal quality assurance/control.

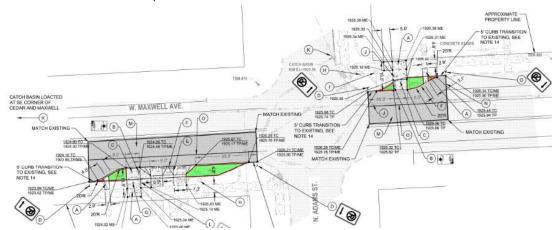
**Question 03:** How many sites can be worked on simultaneously?

**Answer 03:** Contractor can work on as many sites as allowed by the permitting authority.

**Question 04:** Are there AIS or Buy America provisions?

Answer 04: This project is locally funded, federal provisions do not apply.

**Question 05:** What is the final treatment of the areas highlighted in green (Maxwell/Adams location)?



Answer 05: These areas shall match existing and/or adjoining landscaping materials.

### Attachments:

Revised bid drawings dated 3-23-22

### **GENERAL NOTES**

- WORK AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AND STANDARDS OF THE AUTHORITIES HAVING JURISDICTION. IF STANDARDS ARE NOT PROVIDED BY THE AUTHORITIES HAVING JURISDICTION, WORK AND MATERIALS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AS JOINTLY PROMULGATED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) AND THE WASHINGTON STATE CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION.
- 2. THE CONTRACTOR SHALL CALL THE UNDERGROUND SERVICE ALERT ONE-CALL NUMBER 1-800-424-5555 TWO BUSINESS DAYS PRIOR TO EXCAVATION.
- INFORMATION ON EXISTING CONDITIONS SHOWN ON THESE PLANS WAS OBTAINED FROM A SURVEY PERFORMED BY COFFMAN ENGINEERS. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND REQUIRED ELEVATIONS AT THE SUBJECT SITE. VERIFY THE LOCATION AND SIZE OF EXISTING UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION ACTIVITIES, INCLUDING UNDERGROUND AND OVERHEAD UTILITIES, UTILITY STRUCTURES, POINTS OF CONNECTION, AND UTILITY CROSSINGS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR EXCEPTIONS ENCOUNTERED PRIOR TO PROCEEDING. ANY COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR.
- 4. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF APPROVED PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN
- THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS, REFERENCES, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK NOT FULLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE FULLY DETAILED.
- 6. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE APPROVALS AND PERMITS FROM THE AUTHORITIES HAVING JURISDICTION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL COORDINATE WITH THE AUTHORITIES HAVING JURISDICTION TO CONFIRM INSPECTION, TESTING, AND CERTIFICATION REQUIREMENTS.
- CONSTRUCTION SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG).
- EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGED OR OBLITERATED CORNERS OR MONUMENTS SHALL BE RE-ESTABLISHED BY A PROFESSIONAL SURVEYOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL NOTIFY STA OF ANY DAMAGE/REPAIRS.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS. COORDINATE REQUIREMENTS WITH THE AUTHORITIES HAVING JURISDICTION, INCLUDING WSDOT, CITY OF SPOKANE, CITY OF LIBERTY LAKE, AND CITY OF SPOKANE VALLEY.
- 10. SAFETY STANDARDS AND REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COMPLIED WITH AS SET FORTH BY OSHA.
- 11. THE CONTRACTOR SHALL HAVE THE APPROPRIATE LICENSES TO PERFORM THE SPECIFIED WORK IN CONFORMANCE WITH
- 12. MAINTAIN EXISTING UTILITIES AND PROTECT THEM AGAINST DAMAGE DURING CONSTRUCTION. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND AUTHORITIES HAVING JURISDICTION.
- 13. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY THE ENGINEER AND OWNER.
- 14. AREAS DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE CONSTRUCTED OR RESTORED TO ORIGINAL CONDITIONS OR BETTER, TO THE SATISFACTION OF THE OWNER, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING CONDITIONS PRIOR TO CONSTRUCTION ACTIVITIES AND ANY DAMAGE THAT MAY OCCUR.
- 15. REMOVE WASTE MATERIALS AND DEBRIS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- 16. RECORD DRAWINGS NOTING AS-CONSTRUCTED CONDITIONS SHALL BE PROVIDED BY THE CONTRACTOR AT THE END OF CONSTRUCTION

### DEMOLITION NOTES

THE AUTHORITIES HAVING JURISDICTION.

- CONTRACTOR SHALL REVIEW PROJECT LIMITS FOR QUANTITY AND TYPE OF STRUCTURES, GROUND COVER AND DEBRIS AT THE TIME OF BIDDING AND SHALL INCORPORATE REMOVALS/DISPOSAL IN THEIR BID.
- CONTRACTOR SHALL REMOVE ALL WASTE MATERIAL AND DEBRIS FROM SITE AND LEGALLY DISPOSE OF IN SUITABLE LOCATIONS OFFSITE.
- CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION APPROVALS/PERMITS FROM GOVERNING AGENCIES PRIOR TO ANY
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO FOLLOW GOVERNING AGENCIES GUIDELINES.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ANY AND ALL ITEMS NOT OTHERWISE LISTED HEREIN THAT CONFLICT WITH THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY TO DETERMINE ANY ITEMS NOT SHOWN ON THE PLANS THAT MUST BE REMOVED. FAILURE TO DO SO DOES NOT RELIEVE CONTRACTOR OF COST RESPONSIBILITY FOR REMOVING ITEMS REQUIRED.
- REMOVE OBSTRUCTIONS, TREES, SHRUBS, GRASS AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVAL OF TREES AND SHRUBS SHALL INCLUDE DIGGING OUT STUMPS AND OBSTRUCTIONS AND GRUBBING ROOTS. REMOVAL OF TREES IN AREAS ADJACENT TO TREES THAT ARE TO REMAIN AND BE PROTECTED SHALL BE LIMITED TO TREE REMOVAL AND GRINDING OF STUMP TO 3" BELOW FINISHED GRADE. COORDINATE ANY REMOVAL OF THESE ITEMS WITH STA ENGINEER, AND A REPRESENTATIVE FROM THE LOCAL JURSIDICTION.
- 7. ALL CONCRETE AND ASPHALT SURFACES INDICATED TO RE REMOVED. SHALL BE SAWCUT
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND MAY NOT HAVE BEEN VERIFIED IN THE FIELD. NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS BY COORDINATING WITH UTILITY COMPANIES AND LOCATING SERVICES IN ADVANCE OF DEMOLITION CONSTRUCTION. ANY COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR.
- 9. ALL EXISTING IMPROVEMENTS TO REMAIN THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER, AT THE CONTRACTOR'S SOLE EXPENSE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DOCUMENT PRIOR DAMAGES.

### **EROSION & SEDIMENT CONTROL NOTES**

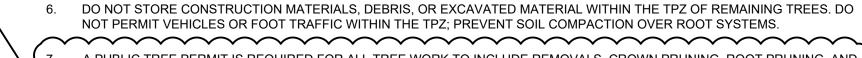
- 1. INSPECT ALL ROADWAYS, AT THE END OF EACH DAY, ADJACENT TO THE CONSTRUCTION ACCESS ROUTE. IF IT IS EVIDENT THAT SEDIMENT HAS BEEN TRACKED OFF SITE AND/OR BEYOND THE ROADWAY APPROACH, CLEANING IS REQUIRED.
- 2. IF SEDIMENT REMOVAL IS NECESSARY PRIOR TO STREET WASHING, IT SHALL BE REMOVED BY SHOVELING OR PICKUP SWEEPING AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- 3. IF STREET WASHING IS REQUIRED TO CLEAN SEDIMENT TRACKED OFF SITE, ONCE SEDIMENT HAS BEEN REMOVED, STREET WASH WASTEWATER SHALL BE CONTROLLED BY PUMPING BACK ON-SITE OR OTHERWISE PREVENTED FROM DISCHARGING INTO SYSTEMS TRIBUTARY TO WATERS OF THE STATE.
- 4. RESTORE CONSTRUCTION ACCESS ROUTE EQUAL TO OR BETTER THAN THE PRE-CONSTRUCTION CONDITION.
- 5. RETAIN THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM
- 6. INSPECT SEDIMENT CONTROL BMPS DAILY, PARTICULARLY DURING A STORM EVENT, AND AFTER ANY DISCHARGE FROM THE SITE (STORMWATER OR NON-STORMWATER). THE INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE SITE IS STABILIZED AND INACTIVE.
- 7. CONTROL FUGITIVE DUST FROM CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE STATE AND/OR LOCAL AIR QUALITY CONTROL AUTHORITIES WITH JURISDICTION OVER THE PROJECT AREA. DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND
- 8. STABILIZE EXPOSED UNWORKED SOILS (INCLUDING STOCKPILES), WHETHER AT FINAL GRADE OR NOT, WITHIN 10 DAYS DURING THE REGIONAL DRY SEASON (JULY 1 THROUGH SEPTEMBER 30) AND WITHIN 5 DAYS DURING THE REGIONAL WET SEASON (OCTOBER 1 THROUGH JUNE 30). SOILS MUST BE STABILIZED AT THE END OF A SHIFT BEFORE A HOLIDAY WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. THIS TIME LIMIT MAY ONLY BE ADJUSTED BY A LOCAL JURISDICTION WITH A "QUALIFIED LOCAL PROGRAM," IF IT CAN BE DEMONSTRATED THAT THE RECENT PRECIPITATION JUSTIFIES A DIFFERENT STANDARD AND MEETS THE REQUIREMENTS SET FORTH IN THE CONSTRUCTION STORMWATER GENERAL PERMIT.
- PROTECT INLETS, DRYWELLS, CATCH BASINS AND OTHER STORMWATER MANAGEMENT FACILITIES FROM SEDIMENT, WHETHER OR NOT FACILITIES ARE OPERABLE.
- 10. KEEP ROADS ADJACENT TO INLETS CLEAN.
- 11. INSPECT INLETS DAILY, PARTICULARLY DURING STORM EVENTS.
- 12. CONSTRUCT STORMWATER CONTROL FACILITIES (DETENTION/RETENTION STORAGE POND OR SWALES) BEFORE GRADING BEGINS. THESE FACILITIES SHALL BE OPERATIONAL BEFORE THE CONSTRUCTION OF IMPERVIOUS SITE IMPROVEMENTS.
- 13. STOCKPILE MATERIALS (SUCH AS TOPSOIL) ON SITE, KEEPING OFF OF ROADWAY AND SIDEWALKS. CONTRACTOR SHALL ENSURE STOCKPILE MATERIALS STAY WITHIN THE PUBLIC RIGHT-OF-WAY. IF SPACE RESTRICT THE CONTRACTORS ABILITY TO STOCKPILE MATERIALS IN THE PUBLIC RIGHT-OF-WAY, THEN STOCKPILING WILL BE PROHIBITED AND ALL MATERIALS SHALL BE BROUGHT TO JOB SITE AS THEY ARE NEEDED.
- 14. COVER, CONTAIN AND PROTECT ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCT, AND NONINERT WASTES PRESENT ON SITE FROM VANDALISM (SEE CHAPTER 173-304 WAC FOR THE DEFINITION OF INERT WASTE), USE SECONDARY CONTAINMENT FOR ON-SITE FUELING TANKS.
- CONDUCT MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM REPAIRS, SOLVENT AND DE-GREASING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CLEAN ALL CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. IF RAINING OVER EQUIPMENT OR VEHICLE, PERFORM EMERGENCY REPAIRS ON SITE USING TEMPORARY PLASTIC BENEATH THE VEHICLE.
- 16. CONDUCT APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, IN SUCH A MANNER, AND AT APPLICATION RATES, THAT INHIBITS THE LOSS OF CHEMICALS INTO STORMWATER RUNOFF FACILITIES. AMEND MANUFACTURER'S RECOMMENDED APPLICATION RATES AND PROCEDURES TO MEET THIS REQUIREMENT, IF NECESSARY.
- 17. INSPECT ON A REGULAR BASIS (AT A MINIMUM WEEKLY, AND DAILY DURING/AFTER A RUNOFF PRODUCING STORM EVENT) AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO ENSURE SUCCESSFUL PERFORMANCE OF THE BMPS. NOTE THAT INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED BEFORE SIX INCHES OF SEDIMENT
- REMOVE TEMPORARY ESC BMPS ONCE THE WORK AREA HAS REACHED SUBSTANTIAL COMPLETION. WITHIN 30 DAYS AFTER THE TEMPORARY BMPS ARE NO LONGER NEEDED. PERMANENTLY STABILIZE AREAS THAT ARE DISTURBED DURING THE
- 19. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES, ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY, INCLUDING OBTAINING THE APPROPRIATE PERMITS AND APPROVALS.
- 20. EROSION CONTROL MEASURES IN ADDITION TO THOSE INDICATED AS PART OF THIS PLAN MAY BE REQUIRED DUE TO UNFORESEEN CONDITIONS, IF THE MEASURES DO NOT FUNCTION AS INTENDED, OR IF THE AUTHORITIES HAVING JURISDICTION DETERMINE INDICATED MEASURES ARE INADEQUATE.
- 21. FILTER FENCE SHALL BE USED TO AID IN CONTAINING ANY SEDIMENT ON THE SITE DURING CONSTRUCTION. STABILIZED CONSTRUCTION ENTRANCES SHALL BE USED AT POINTS OF INGRESS AND EGRESS FOR CONSTRUCTION VEHICLES. STORM DRAIN INLET PROTECTION SHALL BE USED ON ALL STORM DRAIN STRUCTURES. INCLUDING CATCH BASINS AND DRYWELLS. THE CONTRACTOR SHALL KEEP THE AREAS ADJACENT TO THE SITE INCLUDING ROADWAYS AND PARKING LOTS FREE FROM DEBRIS. REFER TO THE EROSION AND SEDIMENT CONTROL MEASURE DETAILS FOR ADDITIONAL INFORMATION.
- 22. CONCRETE WASHOUT MUST BE PERFORMED OFF-SITE OR IN BINS THE CAN BE REMOVED FROM THE JOB SITE AT THE END OF EACH WORKDAY.
- 23. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

### **EARTHWORK & GRADING NOTES**

- SITE PREPARATION, GRADING, EXCAVATION AND FILL REQUIREMENTS BELOW THE PROPOSED IMPROVEMENTS, EMBANKMENTS, AND UTILITY TRENCHING SHALL BE COMPLETED IN CONFORMANCE WITH WSDOT STANDARD
- EXAMINE EXPOSED SUBGRADES AND BASE SURFACES FOR COMPLIANCE WITH REQUIREMENTS FOR DIMENSIONAL GRADING, AND ELEVATION TOLERANCES. PREVENT SURFACE WATER AND GROUNDWATER FROM ENTERING EXCAVATIONS FROM PONDING ON PREPARED SUBGRADES AND BASE SURFACES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES AND BASE SURFACES FROM SOFTENING, UNDERMINING, WASHOUT, DAMAGE BY RAIN OR WATER ACCUMULATION, AND AGAINST FREEZING TEMPERATURES AND FROST.
- 3. SPOT ELEVATIONS ARE FOR FINISH GRADE UNLESS OTHERWISE NOTED.
- UNLESS ELEVATIONS AND/OR CONTOURS ARE OTHERWISE SHOWN, NEW FINISH GRADE SURFACES SHALL BE PLACED TO ALLOW FOR POSITIVE DRAINAGE TO RUNOFF COLLECTION DEVICES OR FACILITIES. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER
- GROUNDWATER OR UNANTICIPATED SUBSURFACE CONDITIONS SHALL BE REPORTED TO THE ENGINEER FOR ASSESSMENT AND RECOMMENDATIONS.
- COMPACTION EFFORTS AND MASS GRADING SHALL BE MONITORED AND TESTED BY AN EXPERIENCED SOILS TECHNICIAN, UNDER THE SUPERVISION OF A LICENSED GEOTECHNICAL ENGINEER. CONTRACTOR TO HIRE AND COORDINATE. ALL RESULTS TO BE PROVIDED TO THE OWNER.

### CITY OF SPOKANE TREE NOTES

- THE CITY OF SPOKANE'S MUNICIPAL CODE REQUIRES THAT TREE PRUNING, PLANTING, OR REMOVAL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ON PUBLIC PROPERTY MUST BE PERFORMED BY A PERSON OF ENTITY WITH A COMMERCIAL
- ALL TREE PRUNING (CROWN OR ROOT) AND TREE REMOVAL WORK MUST BE PERFORMED BY AN INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST OR CERTIFIED TREE WORKER. TREE PLANTING MUST BE DIRECTLY SUPERVISED BY AN ISA CERTIFIED ARBORIST OR CERTIFIED TREE WORKER.
- ALL EQUIPMENT TO BE USED AND ALL WORK TO BE PERFORMED MUST BE IN FULL COMPLIANCE WITH THE MOST CURRENT REVISION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE Z-133-2017, OR AS AMENDED.
- FOR THE PURPOSE OF PROTECTING TREES IN THE RIGHT-OF-WAY DURING DEVELOPMENT, THE CONTRACTOR/DEVELOPER MAY INSTALL THE TREE PROTECTION ZONE IN ACCORDANCE WITH THE STANDARDS BELOW:
- 4.1. THE TREE PROTECTION ZONE (TPZ) WILL EITHER BE DETERMINED IN THE FIELD BY CITY OF SPOKANE URBAN FORESTRY STAFF OR ESTABLISHED BY THE CONTRACTED ARBORIST (LICENSED TREE COMPANY) FOR APPROVAL BY URBAN FORESTRY STAFF PRIOR TO EXCAVATION OR WORK BY THE FOLLOWING METHOD. THE TPZ SHALL BE EQUAL TO THE CRITICAL ROOT ZONE (CRZ) AS DEFINED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA): AN AREA EQUAL TO 1 FOOT RADIUS FROM THE BASE OF THE TREE'S TRUNK FOR EACH 1 INCH OF THE TREE'S DIAMETER AT 4.5 FEET ABOVE GRADE (REFERRED TO AS DIAMETER AT BREAST HEIGHT OF DBH). TPZ MODIFICATIONS MAY BE MADE DUE TO CONSTRUCTION OBJECTIVES AND SITE INFRASTRUCTURE ON WITH PRIOR AUTHORIZATION BY URBAN FORESTRY STAFF.
- 4.2. THE AREA WITHIN THE TPZ SHALL BE MULCHED WITH 1-2 INCHES OF UNTREATED WOOD CHIPS, LEAVING A 1 FOOT RADIUS FROM THE TRUNK FREE OF MULCHING MATERIALS, UNLESS OTHERWISE PRE-APPROVED BY URBAN FORESTRY
- 4.3. ALL TREES DESIGNATED FOR PROTECTION SHALL RECEIVE 5-10 GALLONS OF WATER PER CALIPER INCH EVERY SEVEN DAYS THROUGHOUT THE CONSTRUCTION PERIOD. THE AMOUNT AND FREQUENCY OF IRRIGATION MAY BE ADJUSTED AS NEEDED DUE TO TEMPERATURE FLUCTUATIONS AND SITE CONDITIONS.
- 4.4. INSTALL TEMPORARY FENCING, 3' TALL MINIMUM, ORANGE PLASTIC CONSTRUCTION FENCING PER MANUFACTURER'S SPECIFICATIONS, LOCATED AS INDICATED OR OUTSIDE THE TPZ OF TREES TO PROTECT REMAINING VEGETATION FROM CONSTRUCTION DAMAGE. FENCING MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ALTERNATIVE OR MODIFIED FENCING MATERIAL MAY BE PERMITTED WITH PRIOR AUTHORIZATION BY URBAN FORESTRY STAFF.
- 4.5. WHERE EQUIPMENT IS NECESSARY TO REMOVE HARDSCAPES IN PROXIMITY OF A PROTECTED TREE, CONSTRUCTION PERSONNEL MUST EXHIBIT DUE CARE TO ENSURE NO DAMAGE OCCURS TO THE EXISTING ROOTS. IF ROOTS ARE ENCOUNTERED IN THE DEMO AREA, CONSULTATION WITH URBAN FORESTRY STAFF OR A CONTRACTED ARBORIST (LICENSED TREE COMPANY) IS REQUIRED TO DETERMINE BEST MANAGEMENT PRACTICE TO MEET CONSTRUCTION AND TREE PRESERVATION OBJECTIVES.
- 5. PROTECT TREE ROOT SYSTEMS FROM DAMAGE DUE TO NOXIOUS MATERIALS CAUSED BY RUNOFF OR SPILLAGE WILL MIXING, PLACING, OR STORING CONSTRUCTION MATERIALS. PROTECT ROOT SYSTEMS FROM FLOODING, ERODING, OR EXCESSIVE WETTING CAUSED BY DEWATERING OPERATIONS.



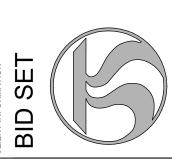
A PUBLIC TREE PERMIT IS REQUIRED FOR ALL TREE WORK TO INCLUDE REMOVALS, CROWN PRUNING, ROOT PRUNING, AND PLANTING. THE CONTRACTED LICENSED ARBORIST IS REQUIRED TO PERFORM ALL TREE WORK RELATED TO THIS PROJECT.

10 N. Post Street, Suite 500 Spokane, WA 99201

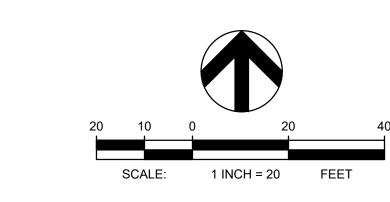
ph 509.328.2994

www.coffman.com





REVISIONS 1 3-23-22 CITY COMMENTS CWD 2021-10656 CBM 2/10/2022



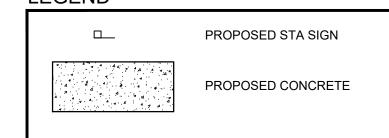
### → TBM INFORMATION

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPT
114	281180.49	2486462.48	2057.98	SET X
115	281008.83	2486479.55	2060.06	SET X

### BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



# **EXISTING LEGEND**

EXISTING LEGEND	
	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
Œ	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BO
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗—————————————————————————————————————	CROSSWALK SIGNAL



**COFFMAN** ENGINEERS

10 N. Post Street, Suite 500

Spokane, WA 99201

ph 509.328.2994

www.coffman.com

1 3-23-22 CITY COMMENTS CWD 2021-10656

2/10/2022

RIM EL=2056.22 BOT EL=2045.02 APPROXIMATE PROPERTY LINE 2058.01 TP E. LYONS AVE. 

### **CONSTRUCTION NOTES**

- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLET AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20-00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY CONTRACTOR. SIGNS SHALL NOT BE REUSED.

### **KEY NOTES**

(A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102.

REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 4, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE

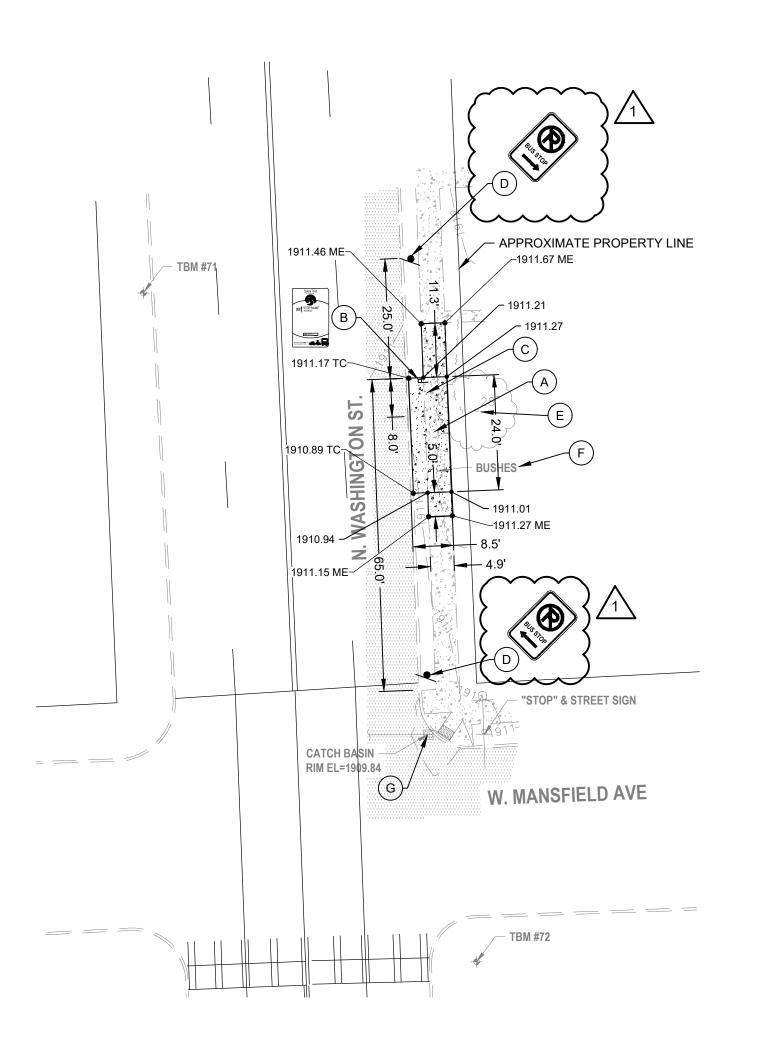
\_\_\_\_\_\_ (C) ADA CLEAR ZONE, SEE NOTE 2.

- D INSTALL 6" DUCTILE IRON EQUALIZATION PIPE UNDER CONCRETE SIDEWALK. REGRADE BOTTOM OF SWALE AS NEEDED TO ACCOMMODATE CHANNEL ELEVATIONS SHOWN.
- (E) PROVIDE EROSION AND SEDIMENT CONTROL. SEE NOTE 12.
- F RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS
- (G) PROTECT EXITING TREE DURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED ARBORIST ONSITE TO ASSIST WITH TREE TRIMMING AND EXCAVATION NEAR TREE

PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: <u>MAY 2021</u> THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT

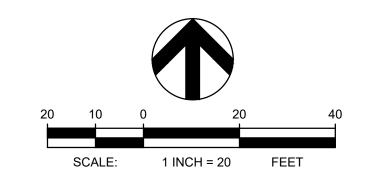


- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST
- LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLET AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20-00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGNS SHALL NOT BE REUSED.

### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE NOTE 11.
- C ADA CLEAR ZONE, SEE NOTE 2.
- (D) INSTALL NEW "NO PARKING" SIGN R7-17A (R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5
- ARBORIST ONSITE TO ASSIST WITH TREE TRIMMING AND EXCAVATION NEAR TREE
- (F) EXISTING BUSHES AT BACK OF WALK TO BE TRIMMED BACK AND REMOVED AS NECESSARY UP TO THE PROPERTY LINE.
- (G) INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.

- (E) PROTECT EXISTING TREE DURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED



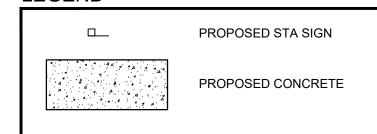
### TBM INFORMATION

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
71	265968.74	2481630.10	1911.59	SET X
72	265829.43	2481699.49	1910.91	SET X
•	•	•		

### BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
φ	EXISTING LIGHT POLE
$\langle \cdot \rangle$	EXISTING TREE
_0_	EXISTING SIGN
Œ	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗————————————————————————————————————	CROSSWALK SIGNAL

HE EXISTING INFORMATION SHOWN ON THES PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.





**COFFMAN** ENGINEERS Spokane, WA 99201

ph 509.328.2994

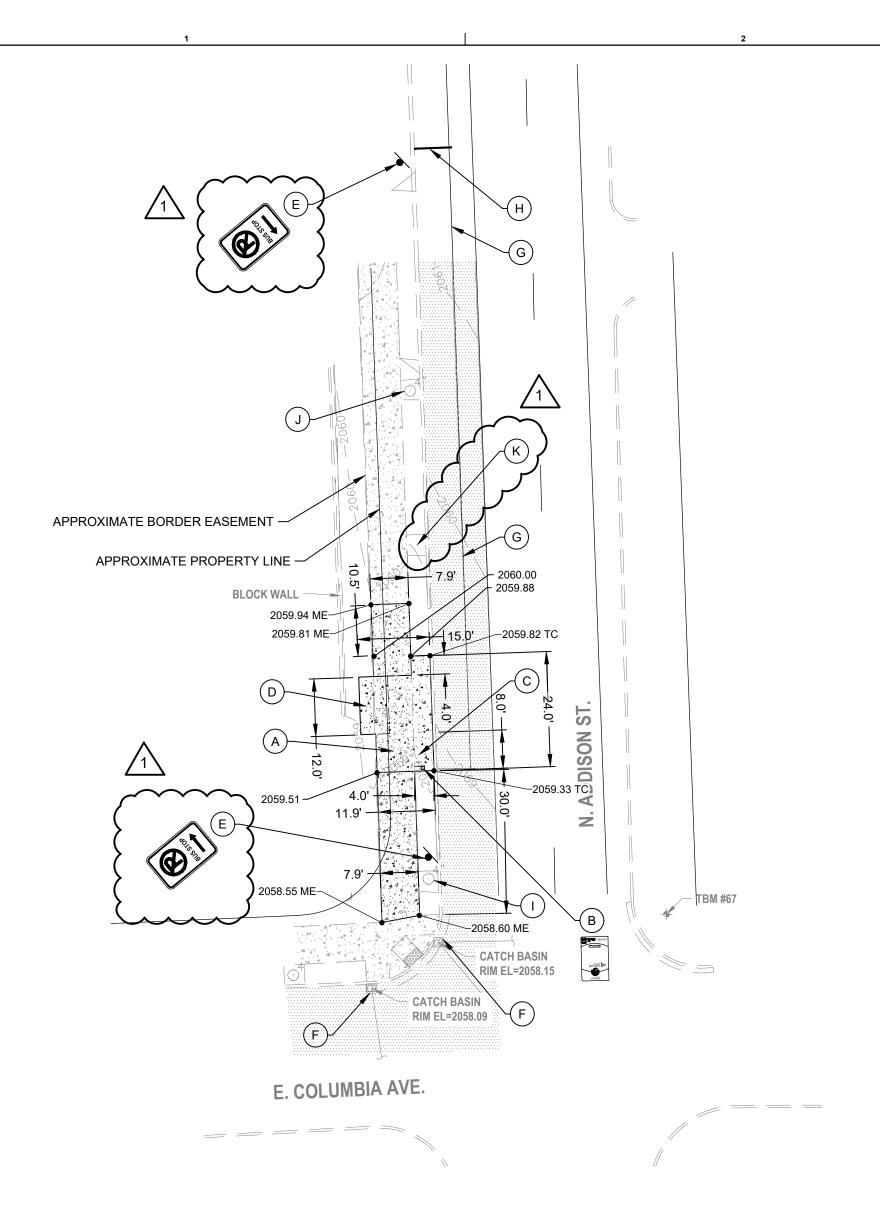
www.coffman.com



AND VICE CHANGE BUS PHASE 1

1 3-23-22 CITY COMMENTS CWD 2021-10656

2/10/2022

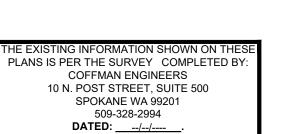


- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGNS SHALL NOT BE REUSED.

# **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE
- (C) ADA CLEAR ZONE, SEE NOTE 2.
- (D) INSTALL 6' x 12' SHELTER PAD PER DETAIL 1, SHEET C1.34. SEE NOTE 4.
- (E) INSTALL NEW "NO PARKING" SIGN R7-17A(R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5 AND 6.
- (F) INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.
- (G) REMOVE EXISTING PARKING STRIPING. STRIPING SHALL BE REMOVED BY WATER BLASTING ONLY PER CITY OF SPOKANE STANDARDS.
- (H) INSTALL 4" WHITE RETO-REFLECTIVE THERMOPLASTIC PAINT TO DELINEATE THE END OF PARKING LANE.
- REMOVE EXISTING TREE. CONTRACTOR TO HAVE LICENSED ARBORIST TO PERFORM WORK. TREE REMOVAL REQUIRES A PUBLIC TREE PERMIT APPLICATION AT LEAST 10 DAYS PRIOR TO WORK BEING PERFORMED.
- ARBORIST TO PERFORM PRUNING OR ROOT TREATMENT IF REQUIRED PRIOR TO CONSTRUCTION ACTIVITIES. SEE CITY OF SPOKANE TREE NOTES SHEET C1.1.
- (K) INSTALL NEW TREE PER CITY OF SPOKANE STANDARDS. CONTRACTOR TO HAVE A LICENSED ARBORIST TO PERFORM TREE INSTALLATION. SEE CITY OF SPOKANE TREE. NOTES ON SHEET C1.1.

- J ) PROTECT EXISTING TREE DURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED



THE CONTRACTOR SHALL VERIFY EXISTING

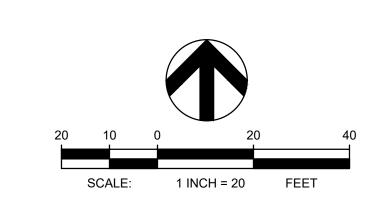
SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.







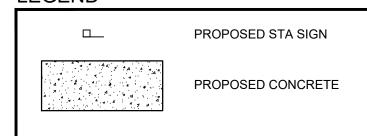
# → TBM INFORMATION

	POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
	67	278046.78	2484617.47	2058.97	SET X
	68 *	278038.34	2484412.07	2060.21	SET X
* TBM NOT SHOWN ON PLAN VIEW					

### **BENCH MARK NOTE**

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

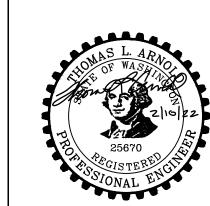
### **LEGEND**



### EVICTING LEGEND

EXISTING LEGEND	
Δ	EXISTING CONCRETE SIDEWALK
<u> </u>	EXISTING CONTOUR
	EXISTING POWER POLE
ф	EXISTING LIGHT POLE
	EXISTING TREE
_0_	EXISTING SIGN
Œ	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
$\blacksquare$	WATER METER
⊗————————————————————————————————————	CROSSWALK SIGNAL



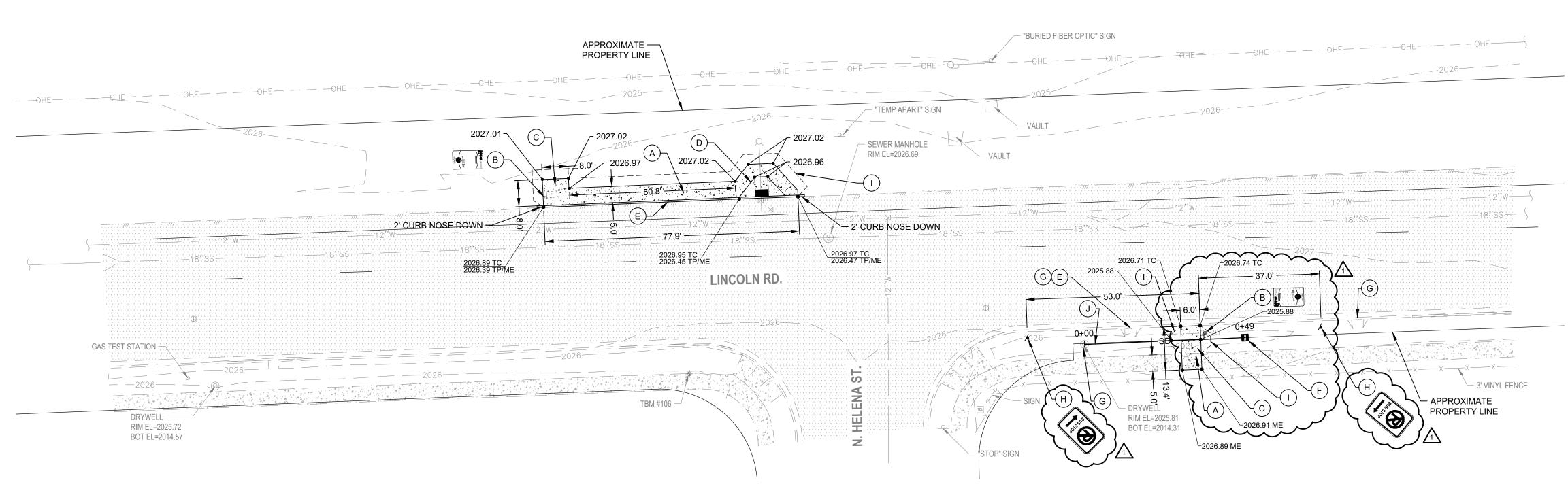


AND COLUMBIA

ERVICE CHANGE PHASE 1



1 3-23-22 CITY COMMENTS CWD 2021-10656 2/10/2022



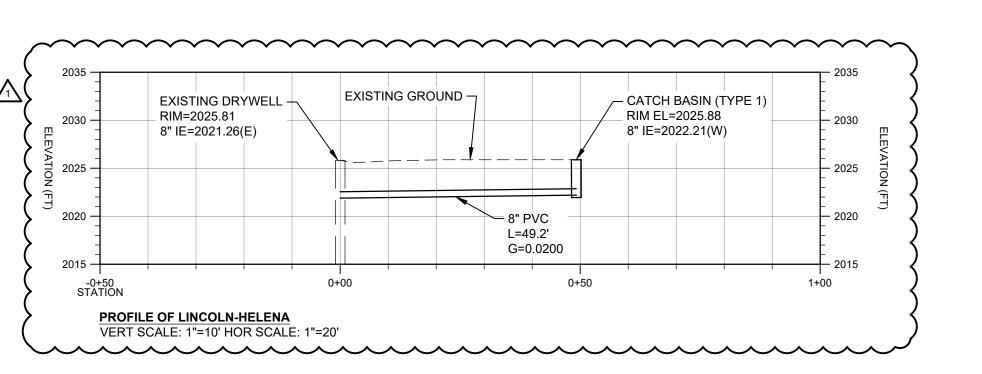
- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLET AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20-00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

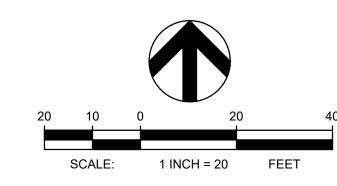
### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102.
- STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3 FOR WEST BOUND IMPROVEMENTS AND DETAIL 4 FOR EASTBOUND IMPROVEMENTS, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM
- ADA CLEAR ZONE, SEE NOTE 2.
- (D) INSTALL NEW CURB RAMP TYPE-1 PER CITY STANDARD PLAN F-105.
- (E) INSTALL NEW CURB PER CITY STANDARD PLAN F-106. MATCH EXISTING ASPHALT

- (F) INSTALL TYPE 1 CATCH BASIN PER CITY OF SPOKANE STANDARD B-101C. RIM EL=2025.88, 8" IE OUT=2022.21. SEE PROFILE, THIS SHEET, FOR MORE INFORMATION.
- (G) PROVIDE EROSION AND SEDIMENT CONTROL. SEE NOTE 12.
- H INSTALL NEW "NO PARKING" SIGN R7-17A (R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A SEE NOTES. TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5
- RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.







### → TBM INFORMATION

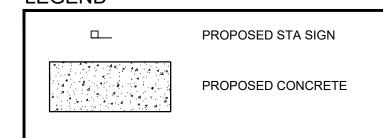
POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
106	285023.63	2488061.54	2026.19	SET X
107*	284707.29	2488090.56	2027.11	SET X
*TRM NOT SHOWN ON DLAN VIEW				

### TBM NOT SHOWN ON PLAN VIEW

### BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

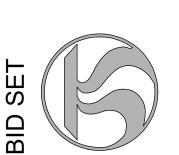
EXISTING LEGEND	
	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
ф	EXISTING LIGHT POLE
	EXISTING TREE
_0_	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗—————————————————————————————————————	CROSSWALK SIGNAL

**COFFMAN** 10 N. Post Street, Suite 500 Spokane, WA 99201

ph 509.328.2994

www.coffman.com





CLIENT INFORMATION  BID SET		
	REVISIONS	
No.	Date	В
1	3-23-22 CITY COMMENTS	CWD
PROJ. NO.	202	1-106

CWD

CBM

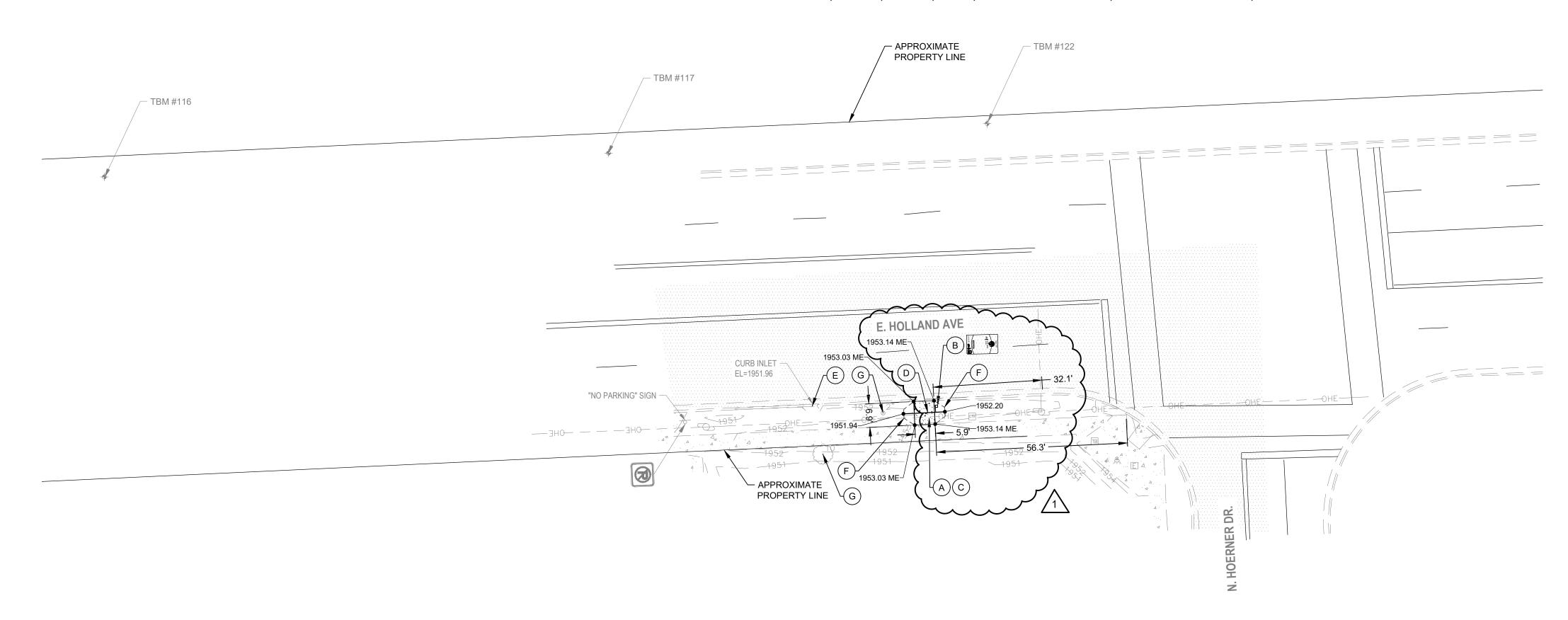
2/10/2022

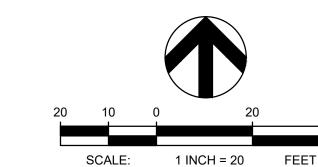
C1.8

THE EXISTING INFORMATION SHOWN ON THES PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

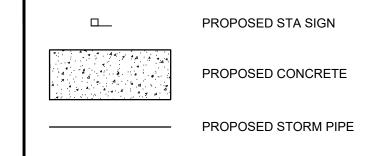




### TBM INFORMATION

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
116	290185.50	2483400.68	1948.64	FND X
117	290192.49	2483549.05	1951.47	FND X
122	290201.17	2483660.48	1953.61	SET X

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CONTRACTOR'S EXPENSE.



LAISTING LEGEND	
	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
€V	EXISTING IRRIGATION CONTROL VALVE
$\Box$	WATER METER
⊗————————————————————————————————————	CROSSWALK SIGNAL

· · · · · · · · · · · · · · · · · · ·	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BO
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗	CROSSWALK SIGNAL

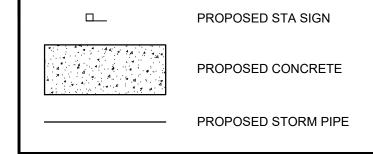
# 1 INCH = 20

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTIO
116	290185.50	2483400.68	1948.64	FND X
117	290192.49	2483549.05	1951.47	FND X
122	290201.17	2483660.48	1953.61	SET X

### BENCH MARK NOTE

CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE

### **LEGEND**



### **EXISTING LEGEND**

Δ	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
<b>\$</b>	EXISTING LIGHT POLE
(^)	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATIO MANHOLE
E	EXISTING ELECTRICAL BO
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗	CROSSWALK SIGNAL

**COFFMAN** ENGINEERS

10 N. Post Street, Suite 500

Spokane, WA 99201

ph 509.328.2994

www.coffman.com

AVE

OERNER

1 3-23-22 CITY COMMENTS CWD 2021-10656 2/10/2022

C1.9

## **CONSTRUCTION NOTES**

- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLET AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20-00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

## **KEY NOTES**

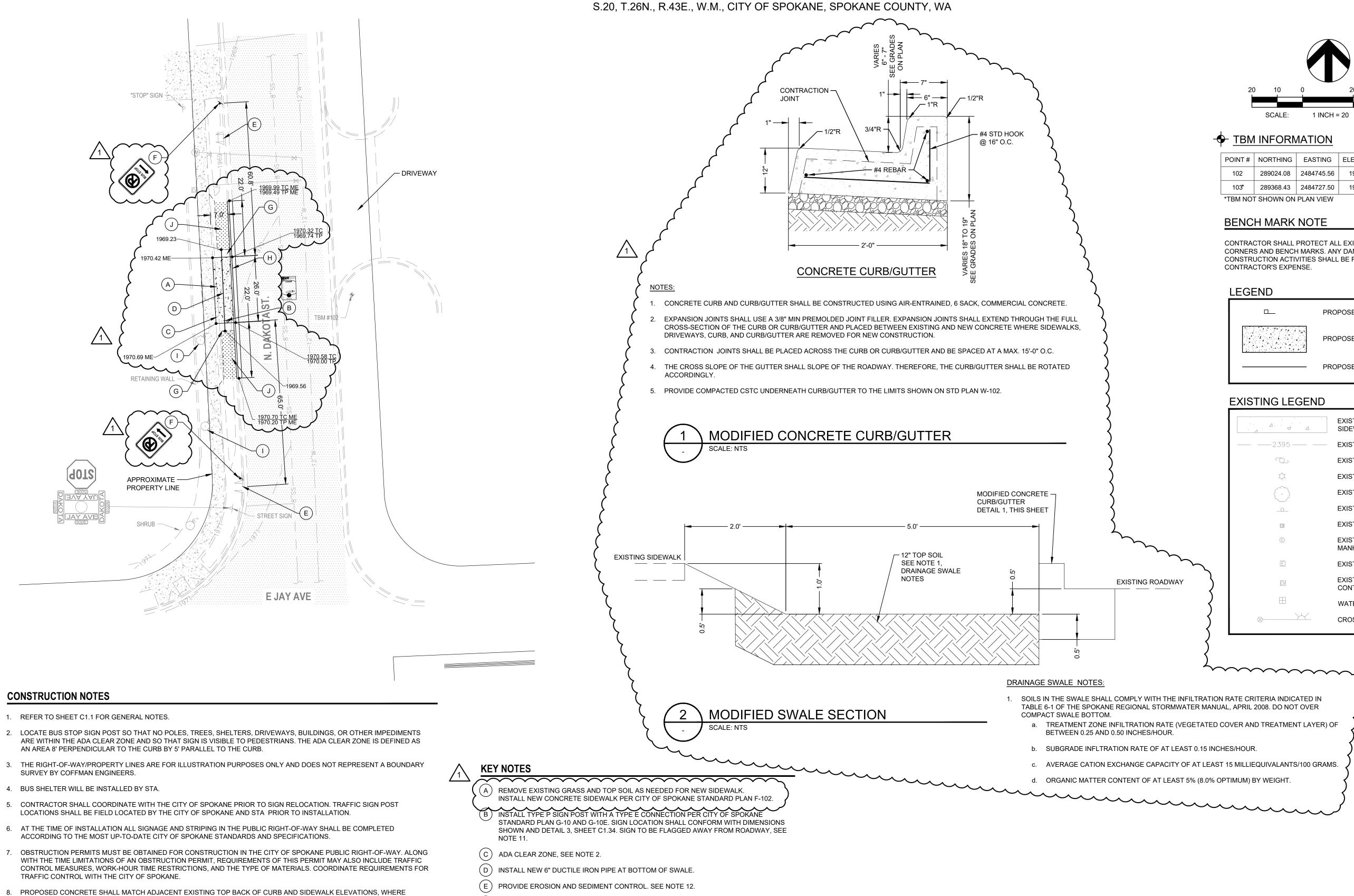
(A) REMOVE EXISTING GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT.

- \_\_\_\_\_\_ (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 4. SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY. SEE
- (C) ADA CLEAR ZONE, SEE NOTE 2.
- (D) INSTALL NEW 6" DUCTILE IRON EQUALIZATION PIPE UNDER CONCRETE SIDEWALK. REGRADE BOTTOM OF SWALE AS NEEDED TO ACCOMMODATE CHANNEL ELEVATION
- (E) INSTALL EROSION AND SEDIMENT CONTROL. SEE NOTE 12.
- (F) RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS
- (G) PROTECT EXISTING TREE DURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED ARBORIST ONSITE TO ASSIST WITH TREE TRIMMING AND EXCAVATION NEAR TREE

HE EXISTING INFORMATION SHOWN ON THES PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



(F) INSTALL NEW "NO PARKING" SIGN R7-17A (R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5 AND 6.

(G) RE-GRADE FROM TOP OF CONCRETE TO BOTTOM OF SWALE AT A MAXIMUM 2:1 SLOPE AS

(H) INSTALL MODIFIED CONCRETE CURB AND GUTTER PER DETAIL 1, THIS SHEET. REVEAL ON

STOP TO ALLOW FOR CROSS SLOPES LESS THAN 2.0% ON CONCRETE SIDEWALK.

( I ) PROTECT EXISTING TREE DURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED

ARBORIST ONSITE TO ASSIST WITH TREE TRIMMING AND EXCAVATION NEAR TREE

ROOTS.

( J ) INSTALL MODIFIED SWALE SECTION PER DETAIL 2, THIS SHEET, 22.0' TO THE NORTH AND

CURB SHALL VARY FROM 6" WHEN MATCHING EXISTING CURB/GUTTER TO 7" AT BUS

NECESSARY TO DAYLIGHT PROPOSED DUCTILE IRON PIPE.

SOUTH OF THE PROPOSED BUS STOP.

9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK

10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND

UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED

PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER,

12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLET AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20-00) AT

13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE

CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

WHICHEVER OPERATES THAT SITE'S SYSTEM.

11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.

AND APPROVED BY UTILITY.

GRATED INLET AS SHOWN ON PLANS.

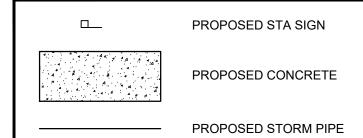
**COFFMAN** ENGINEERS 10 N. Post Street, Suite 500 Spokane, WA 99201

ph 509.328.2994

www.coffman.com

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTIO		
102	289024.08	2484745.56	1970.55	SET X		
103*	289368.43	2484727.50	1966.70	SET X		
*TRM NOT SHOWN ON DLAN VIEW						

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE



	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
€·}	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
$\Box$	WATER METER
⊗	CROSSWALK SIGNAL

- TABLE 6-1 OF THE SPOKANE REGIONAL STORMWATER MANUAL, APRIL 2008. DO NOT OVER
- TREATMENT ZONE INFILTRATION RATE (VEGETATED COVER AND TREATMENT LAYER) OF
- c. AVERAGE CATION EXCHANGE CAPACITY OF AT LEAST 15 MILLIEQUIVALANTS/100 GRAMS.

PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994

ENGINEER IF DISCREPANCIES ARE NOTED.

RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT



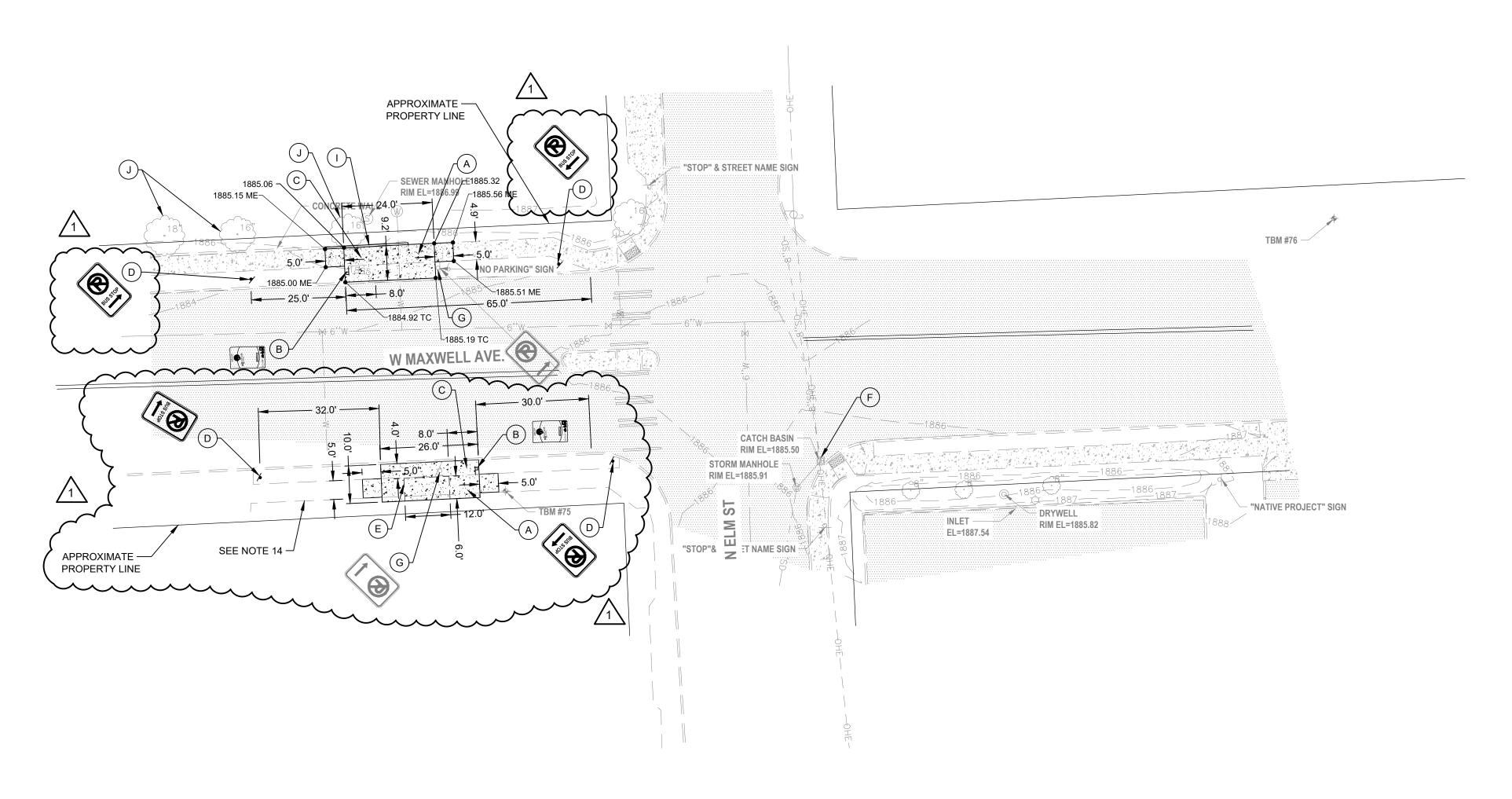
1 3-23-22 CITY COMMENTS CWD 2021-10656

C1.10

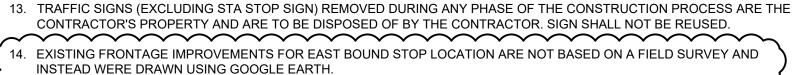
2/10/2022

DATED: <u>MAY 2021</u> THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM

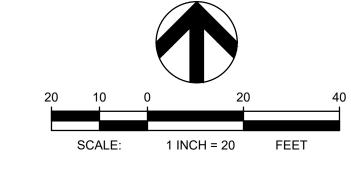


- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.



### **KEY NOTES**

- A REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE
- C ADA CLEAR ZONE, SEE NOTE 2.
- D INSTALL NEW "NO PARKING" SIGN R7-17A (R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5 AND 6.
- (E) INSTALL 6'X12' SHELTER PAD PER DETAIL 1, SHEET C1.34. SEE NOTE 4.
- (F) INSTALL EROSION AND SEDIMENT CONTROL. SEE NOTE 12.
- (G) REMOVE AND DISPOSE OF EXISTING SIGN.



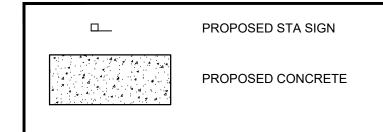
### TBM INFORMATION

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTIO
75	263089.53	2476156.80	1885.63	SET X
76	263161.81	2476376.55	1887.20	SET X

### BENCH MARK NOTE

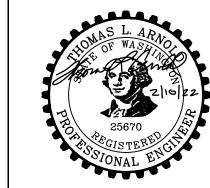
CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
Œ	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗—————————————————————————————————————	CROSSWALK SIGNAL



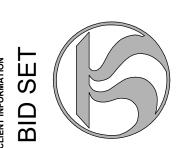
**COFFMAN** ENGINEERS

10 N. Post Street, Suite 500

Spokane, WA 99201

ph 509.328.2994

www.coffman.com



1 3-23-22 CITY COMMENTS CWD 2021-10656

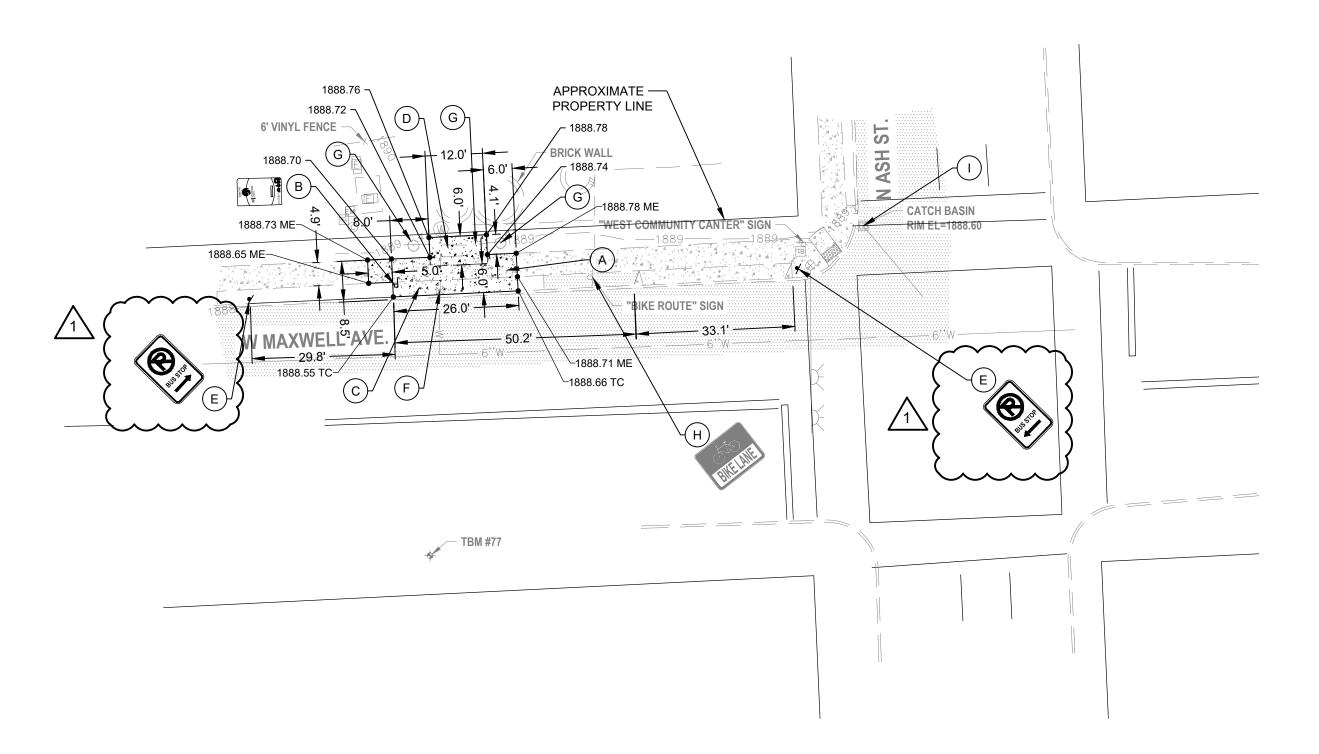
Know what's below. Call before you dig.

PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

C1.11

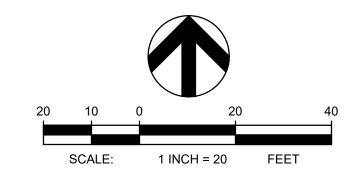
2/10/2022



- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE NOTE 11.
- C ADA CLEAR ZONE, SEE NOTE 2.
- $ig( \, {\sf D} ig)$  INSTALL 6'X12' SHELTER PAD PER DETAIL 1, SHEET C1.34. SEE NOTE 4.
- (E) INSTALL NEW "NO PARKING" SIGN R7-17A (R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5 AND 6.
- (F) ADJUST AND SET EXISTING WATER VALVE IN PROPOSED CONCRETE SIDEWALK.
- G PROTECT EXISTING TREE CURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED ARBORIST ONSITE TO ASSIST WITH TREE TRIMMING AND EXCAVATION NEAR TREE
- (H) PROTECT EXISTING SIGN.
- ( I ) INSTALL EROSION AND SEDIMENT CONTROL. SEE NOTE 12.



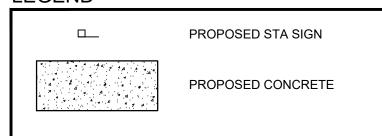
### TBM INFORMATION

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION		
77	263125.69	2476824.19	1888.42	SET X		
78*	263174.56	2476645.61	1888.16	SET X		
*TBM NOT SHOWN ON PLAN VIEW						

# BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS, ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

LAISTING LEGEND	
	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗————————————————————————————————————	CROSSWALK SIGNAL

PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

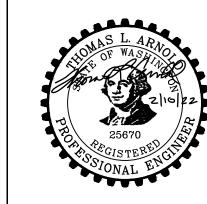




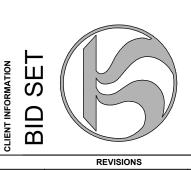
**COFFMAN** ENGINEERS 10 N. Post Street, Suite 500 Spokane, WA 99201

ph 509.328.2994

www.coffman.com

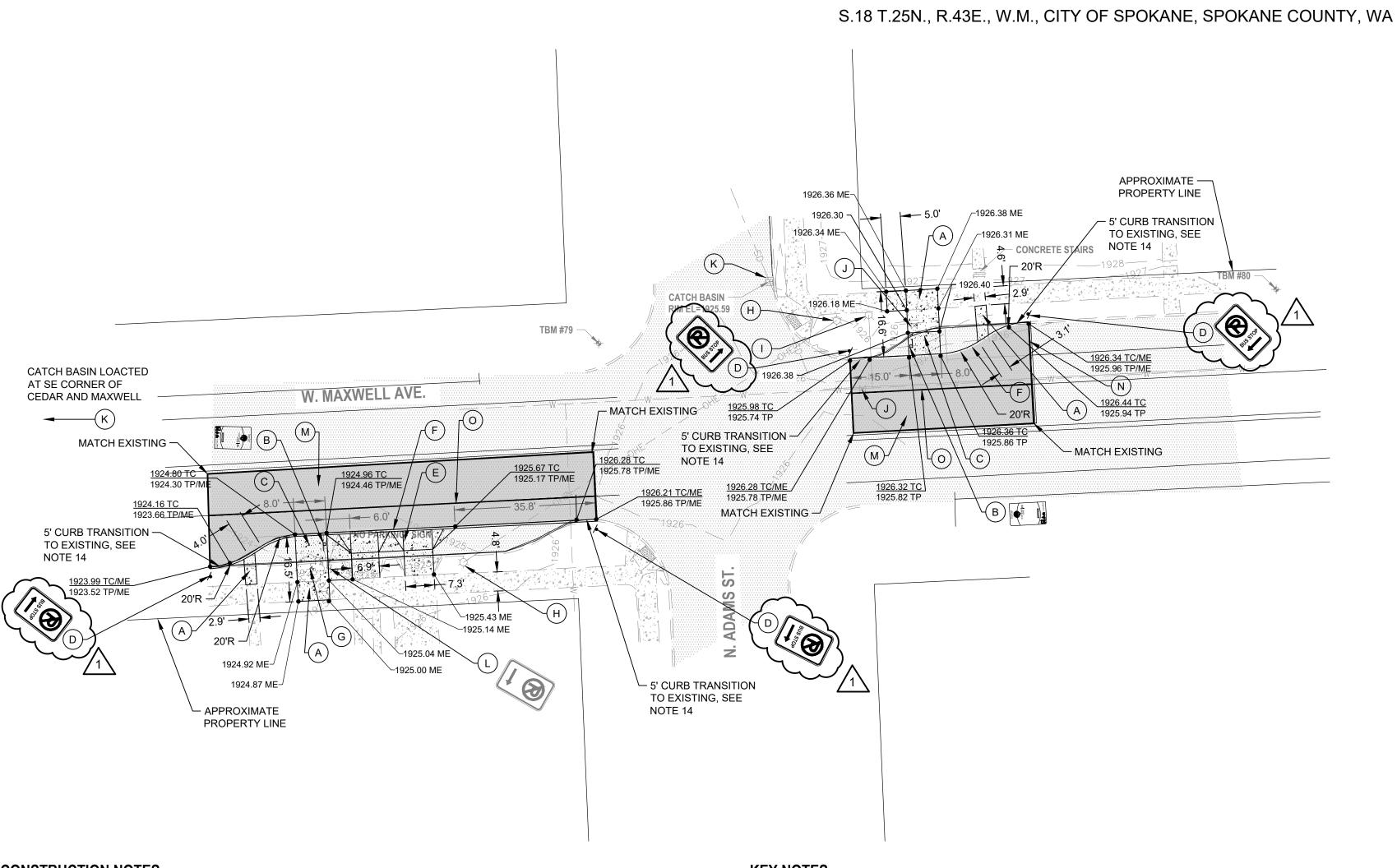


ES TS



1 3-23-22 CITY COMMENTS CWD 2021-10656 2/10/2022

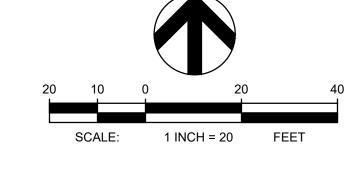
C1.12



- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. CONTRACTOR SHALL MAKE ALL CUTS TO EXISTING ROADS PER THE INLAND NORTHWEST REGIONAL PAVEMENT CUT
- 14. EXISTING CURB DOES NOT HAVE A FULL 6" REVEAL, TRANSITION FROM A FULL 6" CURB REVEAL TO EXISTING CURB REVEAL
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

### **KEY NOTES**

- REMOVE EXISTING SIDEWALK, GRASS TOP SOIL, CURBING, AND ASPHALT AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE NOTE 11.
- C ADA CLEAR ZONE, SEE NOTE 2.
- D INSTALL NEW "NO PARKING" SIGN R7-17A (R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5
- E REMOVE EXISTING CURB AND ASPHALT, AND INSTALL NEW DRIVEWAY PER CITY OF SPOKANE STANDARD PLAN F-104 FOR EXISTING TWO DRIVEWAYS. INSTALL CURB TRANSITION TO KEEP BETWEEN DRIVEWAYS TO KEEP ENTRANCES SEPARATE.
- (F) REMOVE EXISTING CURB AND ASPHALT, AND INSTALL NEW CURB PER CITY OF SPOKANE STANDARD PLAN F-106. REMOVE EXISTING TREE. CONTRACTOR TO HAVE LICENSED ARBORIST TO PERFORM WORK PRIOR TO CONSTRUCTION ACTIVITIES. SEE SHEET C1.1.
  - (H) PROTECT EXISTING LIGHT POLE.
- PROTECT EXISTING HYDRANT.
- J ADJUST EXISTING WATER VALVE AND SET IN CONCRETE SIDEWALK OR ASPHALT ROADWAY.
- (K) INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.
- (L) REMOVE AND DISPOSE OF EXISTING SIGN.
- M REMOVE EXISTING ASPHALT AND INSTALL NEW ASPHALT TO MATCH EXISTING PAVEMENT SECTION. CONTRACTOR TO ASSUME A 5" HMA/ 7" CSTC SECTION FOR BIDDING. SEE NOTE 13.
- N RELOCATE END OF PARKING LANE WITH END STRIP PER CITY OF SPOKANE STANDARD PLAN G-60.
- (0) REPLACE ROADWAY STRIPING THAT IS REMOVED AS PART OF ASPHALT REMOVAL ALL ROADWAY STRIPING SHALL CONFORM WITH CITY OF SPOKANE STANDARDS AS WELL AS STANDARD PLAN G-50A.



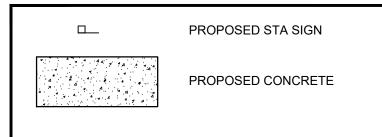
### TBM INFORMATION

POINT#	NORTHING	-EASTING	ELEVATION	DESCRIPTION
79	263390.06	2478309.08	<b>1</b> 926.13	SET X
80	263403.78	2478480.72	1926.86	SET X
•				

### **BENCH MARK NOTE**

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



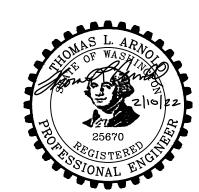
## **EXISTING LEGEND**

	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATI MANHOLE
E	EXISTING ELECTRICAL B
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗	CROSSWALK SIGNAL



ph 509.328.2994

www.coffman.com



 $\mathbb{Z}$ MAXWEL AND AD



я Ш				
		REVISIONS		
No.	Date			Ву
1	3-23-22	CITY COM	MENTS	CWD
PROJ. NO.			202	1-1065
DRAWN				CWI
CHECKED				CBN
DATE			2/	10/202

C1.13

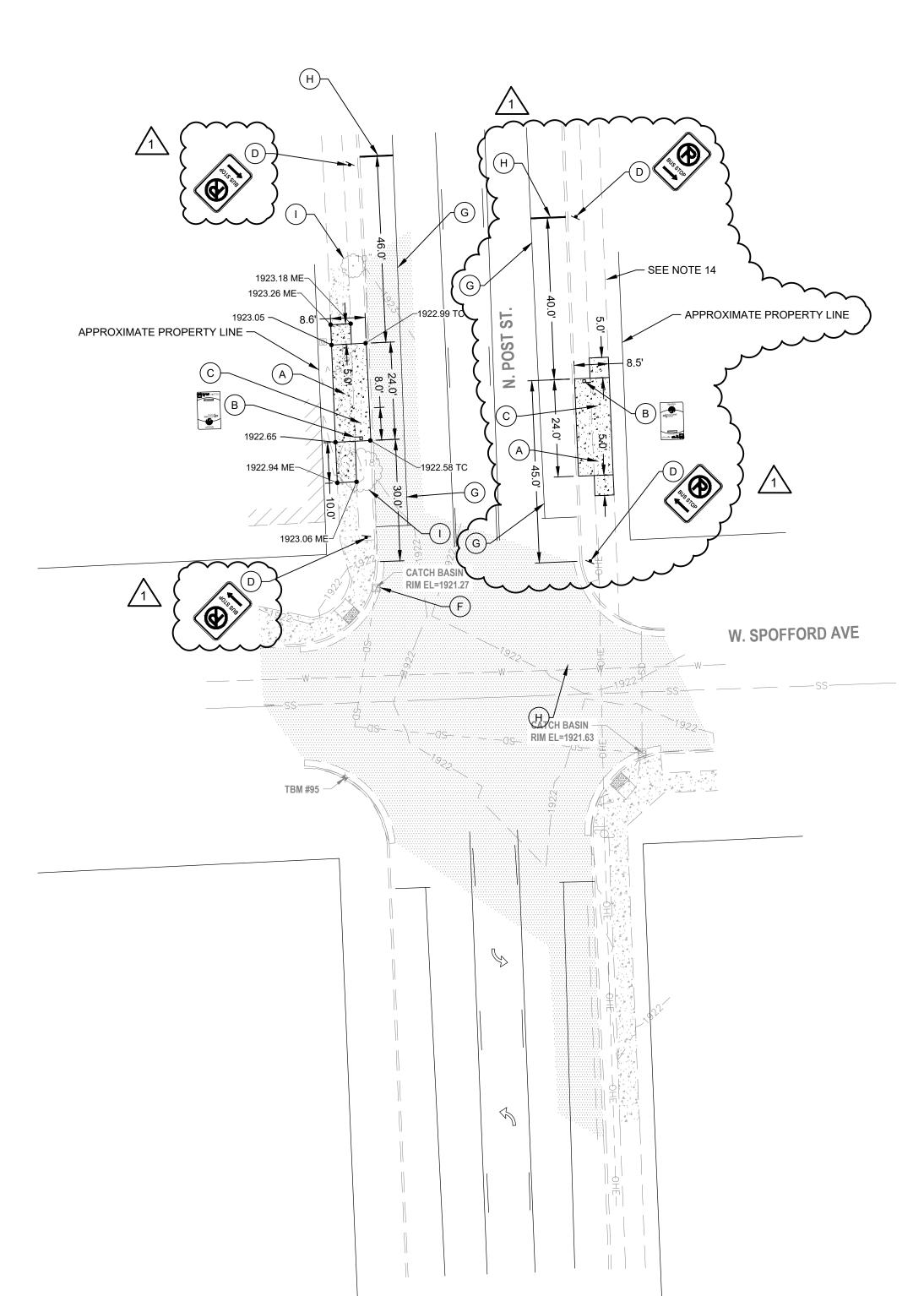
HE EXISTING INFORMATION SHOWN ON THES UTILITY STATEMEN PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: <u>MAY 2021</u> THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

Know what's below.

Call before you dig.



- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER. WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.

\_\_\_\_\_\_

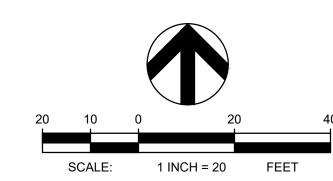
13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED. 14. EXISTING FRONTAGE IMPROVEMENTS FOR NORTH BOUND STOP LOCATION ARE NOT BASED ON A FIELD SURVEY AND INSTEAD WERE DRAWN USING GOOGLE EARTH.

### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE
- C ADA CLEAR ZONE, SEE NOTE 2.
- (D) INSTALL NEW "NO PARKING" SIGN R7-17A(R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5 AND 6.
- (E) PROTECT EXISTING TREE DURING CONSTRUCTION.
- (F) INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.
- G REMOVE EXISTING PARKING STRIPING. STRIPING SHALL BE REMOVED BY WATER BLASTING ONLY PER CITY OF SPOKANE STANDARDS.
- (H) INSTALL 4" WHITE RETO-REFLECTIVE THERMOPLASTIC PAINT TO DELINEATE THE END OF
- PARKING LANE,. SEE CITY OF SPOKANE STANDARD PLAN G-60 FOR MORE INFORMATION. ( I ) PROTECT EXISTING TREE DURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED

ARBORIST ONSITE TO ASSIST WITH TREE TRIMMING AND EXCAVATION NEAR TREE





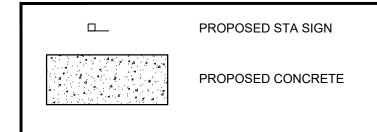
### TBM INFORMATION

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION	
95	263787.58	2480163.60	1922.06	SET X	
96*	263616.62	2480174.61	1920.68	SET X	
*TBM NOT SHOWN ON PLAN VIEW					

### BENCH MARK NOTE

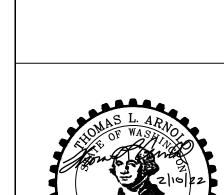
CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



## **EXISTING LEGEND**

	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗—————————————————————————————————————	CROSSWALK SIGNAL



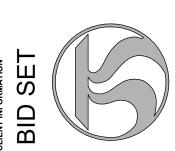
10 N. Post Street, Suite 500

Spokane, WA 99201

ph 509.328.2994

www.coffman.com

AND

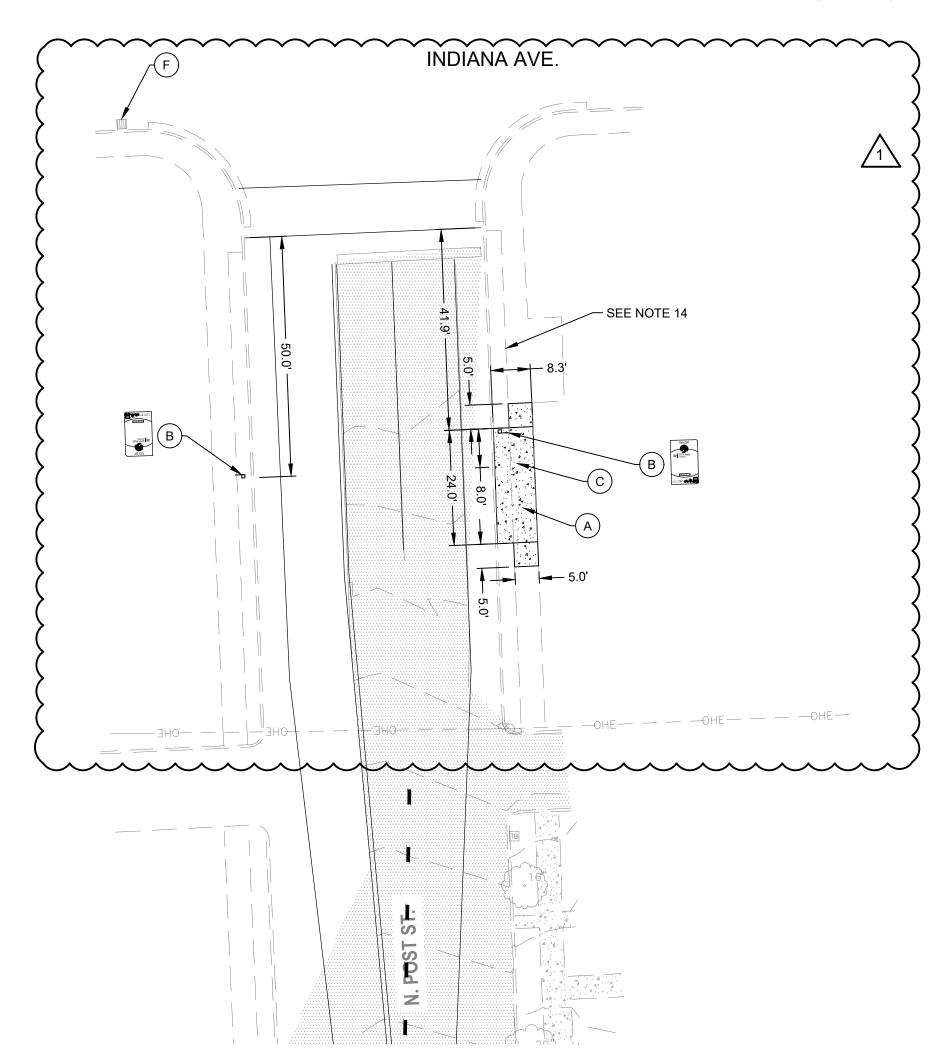


ပ			
		REVISIONS	
No.	Date		Ву
1	3-23-22	CITY COMMENTS	CWD
PROJ. NO.		202	1-10656
DRAWN			CWD
CHECKED			СВМ
DATE		2/	10/2022

HE EXISTING INFORMATION SHOWN ON THES UTILITY STATEMEN PLANS IS PER THE SURVEY COMPLETED BY: LOCATION OF EXISTING UNDERGROUND COFFMAN ENGINEERS UTILITIES HAVE BEEN TAKEN FROM 10 N. POST STREET, SUITE 500 RAWINGS AND FIELD LOCATES SUPPLIED BY SPOKANE WA 99201 THE APPROPRIATE UTILITY COMPANIES. 509-328-2994 UTILITY LOCATIONS SHOWN ON THIS **DATED**: MAY 2021 DRAWING ARE APPROXIMATE ONLY. PRIOR THE CONTRACTOR SHALL VERIFY EXISTING TO BEGINNING ANY CONSTRUCTION, THE SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



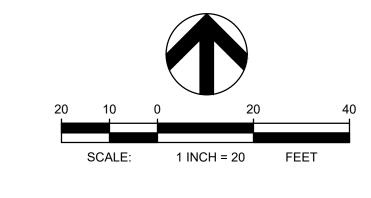
- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED. · 14. EXISTING FRONTAGE IMPROVEMENTS FOR THE NORTH AND SOUTH BOUND STOP LOCATION ARE NOT BASED ON A FIELD SURVEY AND INSTEAD WERE DRAWING USING GOOGLE EARTH AND A PLAN SHEET PROVIDED BY THE CITY OF SPOKANE.

### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF
- B INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE NOTE 11.
- C ADA CLEAR ZONE, SEE NOTE 2.
- D INSTALL NEW "NO PARKING" SIGN R7-17A(R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5 AND 6.
- (E) REMOVE AND DISPOSE OF SIGN.

- CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.

- (F) INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.



### → TBM INFORMATION

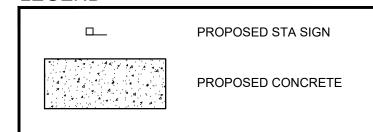
POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
97	264496.66	2480138.91	1919.18	SET X
98*	264293.10	2480148.50	1923.28	SET X

### \*TBM NOT SHOWN ON PLAN VIEW

BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
<b>\$</b>	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
Œ	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
$\Box$	WATER METER
$\otimes$	CROSSWALK SIGNAL

PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 DATED: <u>MAY 2021</u>.
THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

JTILITY STATEMEN LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.





ph 509.328.2994

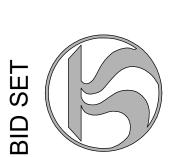
www.coffman.com



AND

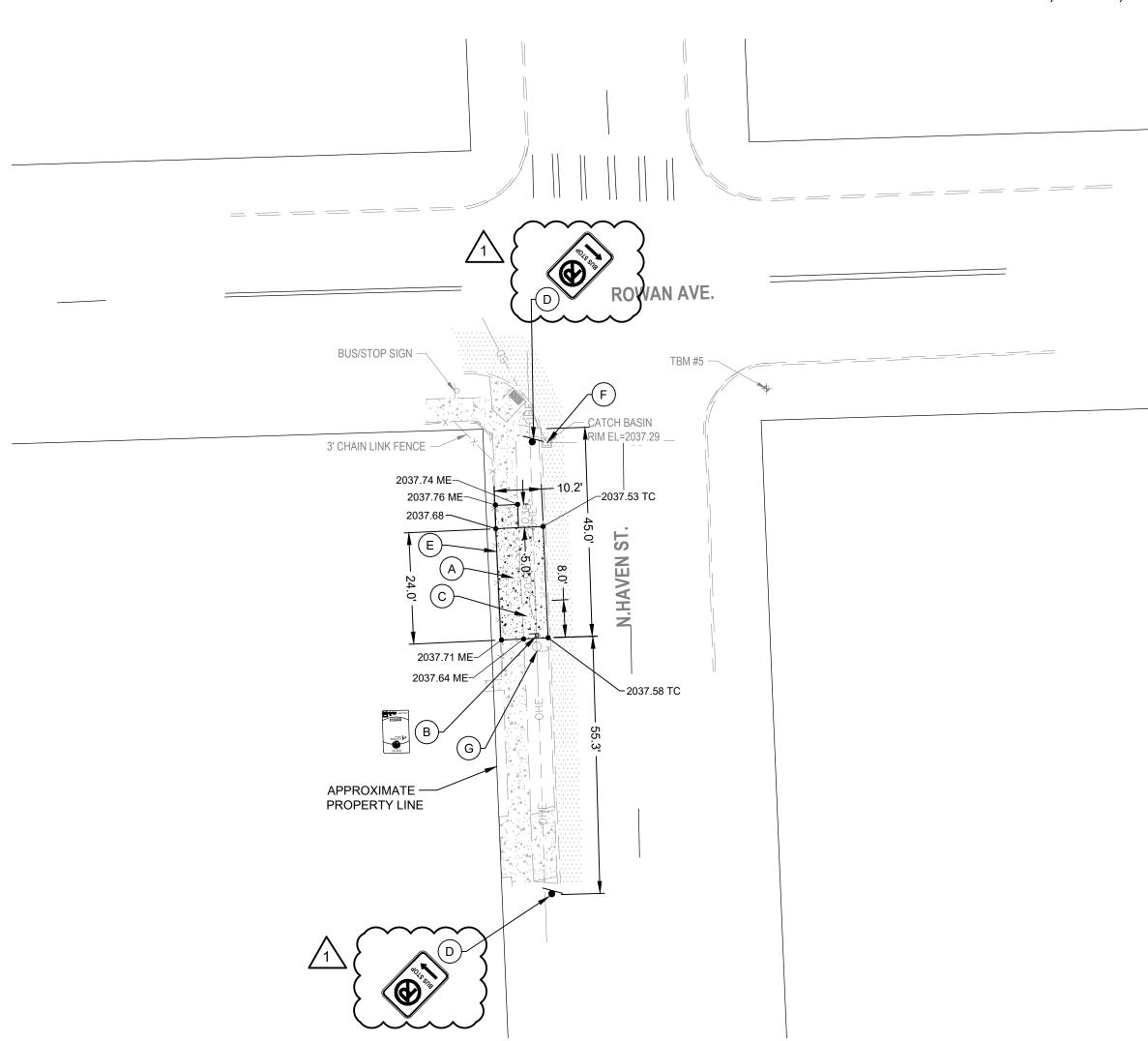
OST

ERVICE CHANGE PHASE 1



1 3-23-22 CITY COMMENTS CWD 2021-10656 2/10/2022

C1.15



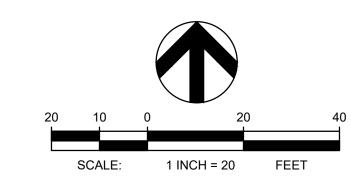
- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.

TRAFFIC CONTROL WITH THE CITY OF SPOKANE.

- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST
- LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION. 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED
- ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS. 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE NOTE 11.
- C ADA CLEAR ZONE, SEE NOTE 2.
- D INSTALL NEW "NO PARKING" SIGN R7-17A(R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5
- (E) PROTECT EXISTING CHAIN LINK FENCE DURING CONSTRUCTION.
- (F) INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.
- (G) PROTECT POWER POLE DURING CONSTRUCTION.



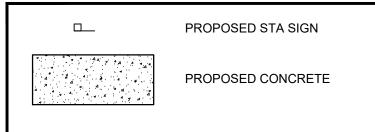
### TBM INFORMATION

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
5	277356.83	2493776.86	2037.67	SET X
6 *	277392.54	2493611.06	2037.58	SET X
*TBM NOT SHOWN ON PLAN VIEW				

### BENCH MARK NOTE

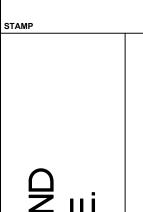
CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
<b>\$</b>	EXISTING LIGHT POLE
$\langle \hat{\cdot} \rangle$	EXISTING TREE
	EXISTING SIGN
Œ	EXISTING CATCH BASIN
©	EXISTING COMMUNICATIO MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
$\Box$	WATER METER
⊗————————————————————————————————————	CROSSWALK SIGNAL



**COFFMAN** ENGINEERS

10 N. Post Street, Suite 500

Spokane, WA 99201

ph 509.328.2994

www.coffman.com

ERVICE CHANGE PHASE 1



CLIENT INFORMATION	BID SET		
		REVISIONS	
No		Dato	

REVISIONS					
No.	Date		Ву		
1	3-23-22	CITY COMMENTS	CWD		
PROJ. NO. 2021-10656					
DRAWN			CWD		
CHECKED			СВМ		

2/10/2022

C1.16

HE EXISTING INFORMATION SHOWN ON THES PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING

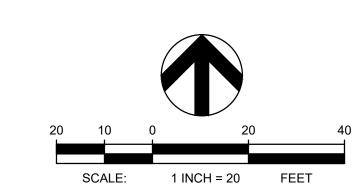
SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

UTILITY STATEMENT

LOCATION OF EXISTING UNDERGROUND



- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE
- (C) ADA CLEAR ZONE, SEE NOTE 2.
- (D) INSTALL 3'X12' SHELTER PAD PER DETAIL 1, SHEET C1.34. SEE NOTE 4.
- (E) INSTALL NEW "NO PARKING" SIGN R7-17A(R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5
- (F) INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.

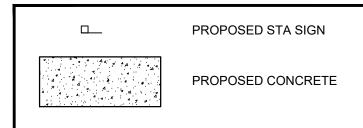
# TBM INFORMATION

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
89	272463.54	2493492.91	2037.61	SET X
90	272203.34	2493563.07	2035.69	SET X

### BENCH MARK NOTE

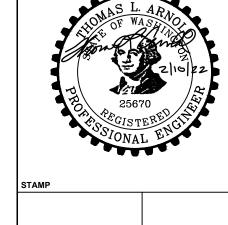
CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

Δ	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
$\otimes$ ————————————————————————————————————	CROSSWALK SIGNAL

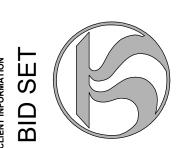


10 N. Post Street, Suite 500

Spokane, WA 99201

ph 509.328.2994

www.coffman.com



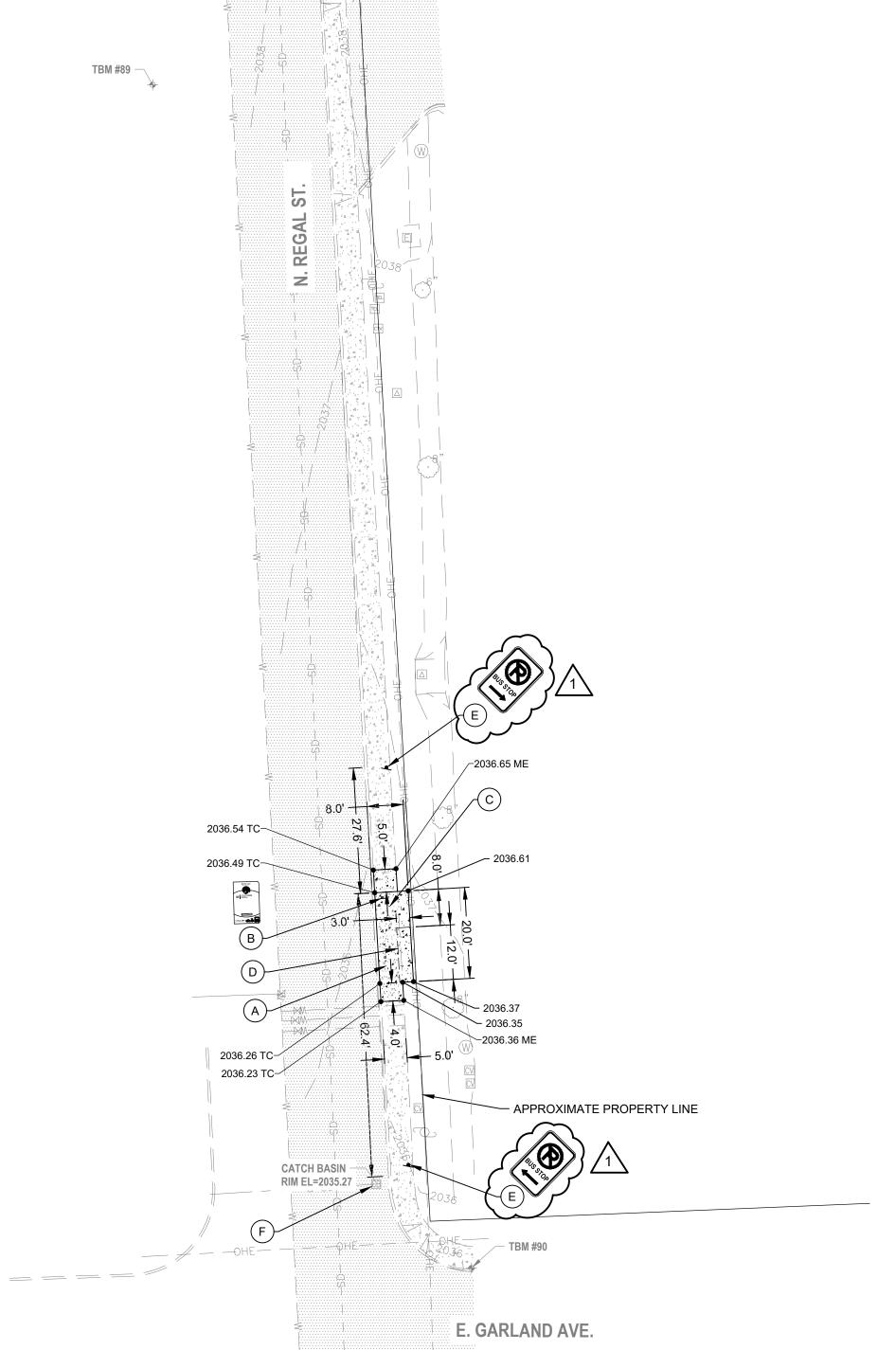
1 3-10-22 CITY COMMENTS CWD 2021-10656 2/10/2022

C1.18

PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

ENGINEER IF DISCREPANCIES ARE NOTED.

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



# E. 4TH AVE TBM #2 1909.60 ME-~1909.28 ME ~1909.13 ME 6.0 1908.59 TC - APPROXIMATE PROPERTY LINE

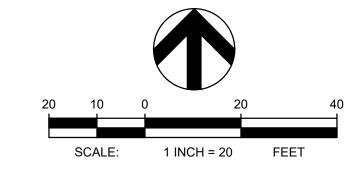
E. 5TH AVE

### CONSTRUCTION NOTES

- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER. WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

### **KEY NOTES**

- ig( A ig) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 3, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE NOTE 11.
- (C) ADA CLEAR ZONE, SEE NOTE 2.
- (D) REMOVE AND DISPOSE OF EXISTING SPEED LIMIT SIGN AND POST. INSTALL NEW "NO PARKING" SIGN R7-17A(R)(L) AND NEW "25 SPEED LIMIT" SIGN. INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A
- (E) INSTALL 6'X12' SHELTER PAD PER DETAIL 1, SHEET C1.34. SEE NOTE 4.
- $({\sf F})$  PROTECT EXISTING WOOD FENCE DURING CONSTRUCTION.
- G INSTALL EROSION AND SEDIMENT CONTROL, SEE NOTE 12.
- H PROTECT EXISTING POWER POLE AND GUY WIRES DURING CONSTRUCTION. PROTECT EXISTING TREE DURING CONSTRUCTION. CONTRACTOR TO HAVE LICENSED ARBORIST TO PERFORM PRUNING OR ROOT TREATMENT IF REQUIRED PRIOR TO CONSTRUCTION ACTIVITIES. SEE SHEET C1.1.



# TBM INFORMATION

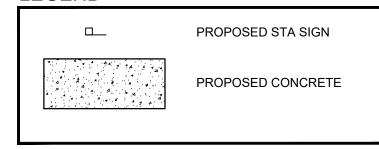
POINT#	NORTHING	EASTING	GRID NORTHING	GRID EASTING	ELEVATION	DESCRIPTION
1	256733.08	2490157.48	256733.08	2490157.48	1906.41	SET X
2	257072.33	2490185.06	257072.29	2490185.06	1910.26	SET X
3*	257115.33	2489824.78	257115.29	2489824.82	1911.14	SET MAG

\*TBM NOT SHOWN ON PLAN VIEW

### BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE

### LEGEND



### **EXISTING LEGEND**

EXISTING LEGEND	
	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
_0_	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BOX
CV	EXISTING IRRIGATION CONTROL VALVE
$\boxplus$	WATER METER
⊗—————————————————————————————————————	CROSSWALK SIGNAL

PLANS IS PER THE SURVEY COMPLETED BY COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: MAY 2021 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE

**ENGINEER IF DISCREPANCIES ARE NOTED** 

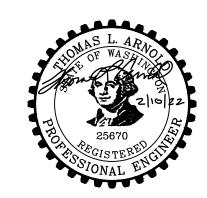
LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.





ph 509.328.2994

www.coffman.com



ST SBUR



 
 Date
 By

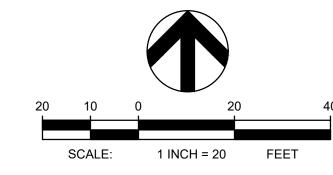
 1
 3-23-22
 CITY COMMENTS CWD
 2021-10656 2/10/2022

C1.21

- 1. REFER TO SHEET C1.1 FOR GENERAL NOTES.
- 2. LOCATE BUS STOP SIGN POST SO THAT NO POLES, TREES, SHELTERS, DRIVEWAYS, BUILDINGS, OR OTHER IMPEDIMENTS ARE WITHIN THE ADA CLEAR ZONE AND SO THAT SIGN IS VISIBLE TO PEDESTRIANS. THE ADA CLEAR ZONE IS DEFINED AS AN AREA 8' PERPENDICULAR TO THE CURB BY 5' PARALLEL TO THE CURB.
- 3. THE RIGHT-OF-WAY/PROPERTY LINES ARE FOR ILLUSTRATION PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY BY COFFMAN ENGINEERS.
- 4. BUS SHELTER WILL BE INSTALLED BY STA.
- 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SPOKANE PRIOR TO SIGN RELOCATION. TRAFFIC SIGN POST LOCATIONS SHALL BE FIELD LOCATED BY THE CITY OF SPOKANE AND STA PRIOR TO INSTALLATION.
- 6. AT THE TIME OF INSTALLATION ALL SIGNAGE AND STRIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED ACCORDING TO THE MOST UP-TO-DATE CITY OF SPOKANE STANDARDS AND SPECIFICATIONS.
- 7. OBSTRUCTION PERMITS MUST BE OBTAINED FOR CONSTRUCTION IN THE CITY OF SPOKANE PUBLIC RIGHT-OF-WAY. ALONG WITH THE TIME LIMITATIONS OF AN OBSTRUCTION PERMIT, REQUIREMENTS OF THIS PERMIT MAY ALSO INCLUDE TRAFFIC CONTROL MEASURES, WORK-HOUR TIME RESTRICTIONS, AND THE TYPE OF MATERIALS. COORDINATE REQUIREMENTS FOR TRAFFIC CONTROL WITH THE CITY OF SPOKANE.
- 8. PROPOSED CONCRETE SHALL MATCH ADJACENT EXISTING TOP BACK OF CURB AND SIDEWALK ELEVATIONS, WHERE APPLICABLE.
- 9. CONTRACTOR SHALL ADJUST/REVISE EXISTING IRRIGATION SYSTEM TO ACCOUNT FOR NEW CONCRETE IMPROVEMENTS. CONTRACTOR SHALL TEST ALL ADJUSTED/REVISED OR REPLACED IRRIGATION SYSTEMS TO CONFIRM THEY WORK PROPERLY WHEN DONE. COORDINATE WITH CITY WATER DEPARTMENT OR PRIVATE IRRIGATION SYSTEM OWNER, WHICHEVER OPERATES THAT SITE'S SYSTEM.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND BURY DEPTH OF UNDERGROUND UTILITIES. IF THE BURY DEPTH DOES NOT MEET PURVEYORS STANDARDS, UTILITIES SHALL BE PROTECTED AND SLEEVED AND APPROVED BY UTILITY.
- 11. CONTRACTOR SHALL INSTALL SIGN POST, STA AND THEIR CREWS TO INSTALL SIGN.
- 12. CONTRACTOR SHALL INSTALL SAND BAGS AT CURB INLETS AND STORM DRAIN INLET PROTECTION (WSDOT I-40.20.00) AT GRATED INLET AS SHOWN ON PLANS.
- 13. TRAFFIC SIGNS (EXCLUDING STA STOP SIGN) REMOVED DURING ANY PHASE OF THE CONSTRUCTION PROCESS ARE THE CONTRACTOR'S PROPERTY AND ARE TO BE DISPOSED OF BY THE CONTRACTOR. SIGN SHALL NOT BE REUSED.

### **KEY NOTES**

- (A) REMOVE EXISTING SIDEWALK, GRASS AND TOP SOIL AS NEEDED FOR NEW SIDEWALK. INSTALL NEW CONCRETE SIDEWALK PER CITY OF SPOKANE STANDARD PLAN F-102. REMOVE EXISTING SIDEWALK TO THE NEAREST JOINT. RE-GRADE FROM TOP OF
- (B) INSTALL TYPE P SIGN POST WITH A TYPE E CONNECTION PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10E. SIGN LOCATION SHALL CONFORM WITH DIMENSIONS SHOWN AND DETAIL 4, SHEET C1.34. SIGN TO BE FLAGGED AWAY FROM ROADWAY, SEE
- C) ADA CLEAR ZONE, SEE NOTE 2.
- (D) INSTALL NEW "NO PARKING" SIGN R7-17A(R)(L). INSTALL TYPE P SIGN POST WITH A TYPE A BASE PER CITY OF SPOKANE STANDARD PLAN G-10 AND G-10A. SEE NOTES 5
- PROTECT EXISTING TREE DURING CONSTRUCTION. CONTRACTOR TO TAKE CARE NOT TO DAMAGE ROOT SYSTEM FOR EXISTING TREE.
- (F) INSTALL EROSION AND SEDIMENT CONTROL. SEE NOTE 12.
- G RE-GRADE FROM TOP OF CONCRETE TO EXISTING GRADE AT A MAXIMUM 3:1 SLOPE AS NECESSARY.
- (H) INSTALL 6" DUCTILE IRON EQUALIZATION PIPE UNDER CONCRETE SIDEWALK. REGRADE BOTTOM OF SWALE AS NEEDED TO ACCOMMODATE CHANNEL ELEVATIONS SHOWN.



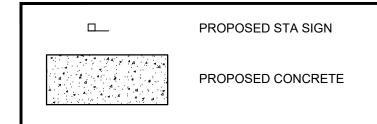
### → TBM INFORMATION

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTIO
99	252187.14	2449509.55	2334.11	SET X
100	252568.82	2449434.22	2333.06	SET X

### BENCH MARK NOTE

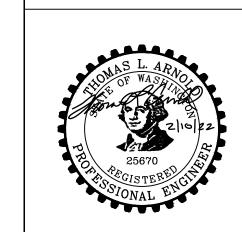
CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

### **LEGEND**



### **EXISTING LEGEND**

Δ	EXISTING CONCRETE SIDEWALK
2395	EXISTING CONTOUR
	EXISTING POWER POLE
\$	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING SIGN
CB	EXISTING CATCH BASIN
©	EXISTING COMMUNICATION MANHOLE
E	EXISTING ELECTRICAL BO
CV	EXISTING IRRIGATION CONTROL VALVE
	WATER METER
⊗————————————————————————————————————	CROSSWALK SIGNAL
<u> </u>	



10 N. Post Street, Suite 500

Spokane, WA 99201

ph 509.328.2994

www.coffman.com

1 3-23-22 CITY COMMENTS CWD 2021-10656 2/10/2022

C1.31

PLANS IS PER THE SURVEY COMPLETED BY: COFFMAN ENGINEERS 10 N. POST STREET, SUITE 500 SPOKANE WA 99201 509-328-2994 **DATED**: NOV 2021 THE CONTRACTOR SHALL VERIFY EXISTING

SITE CONDITIONS AND CONTACT THE

**ENGINEER IF DISCREPANCIES ARE NOTED** 

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM RAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT

LOCATION OF EACH UTILITY.

Know what's below. Call before you dig.

RIM EL=2331.91 APPROXIMATE PROPERTY LINE EL=2332.70 ─ "NO PARKING" SIGN "PICK UP" SIGN ENTRANCE TO NORTH 40 OUTFITTERS SHOPPING COMPLEX

— GATE POST

GATE POST

INLET

EL=2331.85

- INLET

EL=2331.55

- DRYWELL RIM EL=2331.39

TBM #100 —

INLET -

INLET -EL=2331.66

DRYWELL -

RIM EL=2331.63

RIM EL=2332.05

PROPERTY LINE

2333.11 ME~

INLET -EL=2332.84

NO PARKING" SIGN -

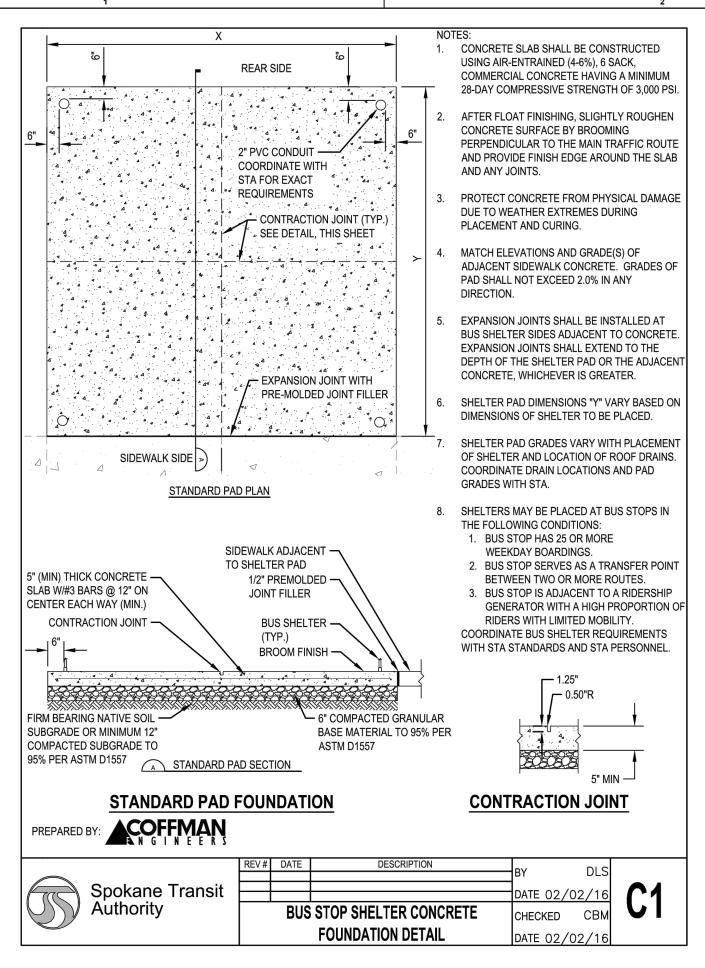
┌─ ROUNDABOUT AT ─ DEER HEIGHTS AND HWY 2 ~400' TO THE SOUTH

ONTA

4.9'

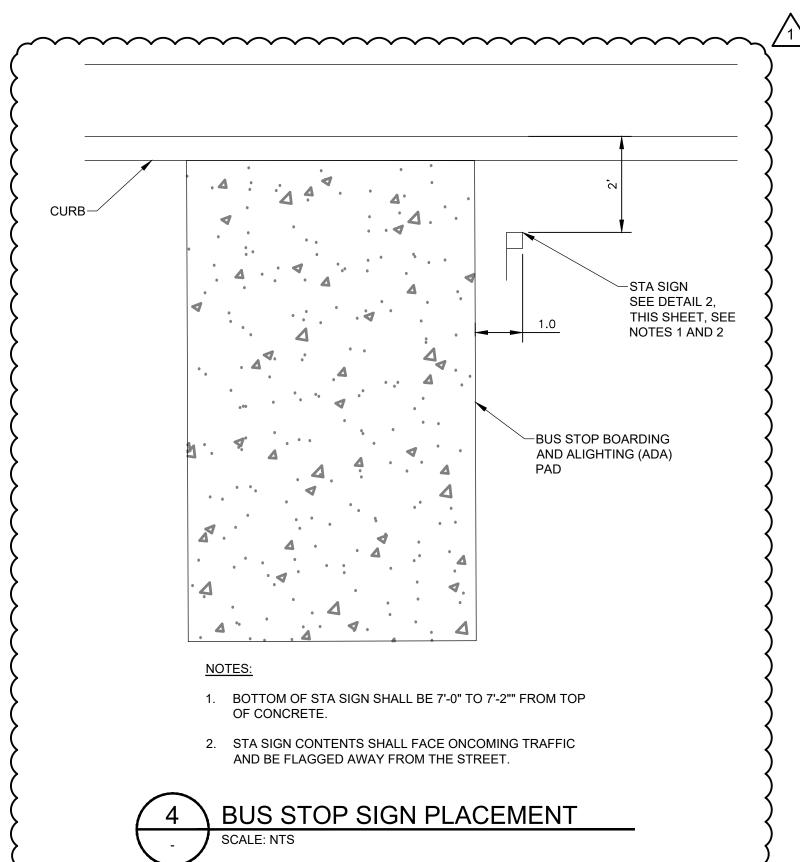
2331.95-

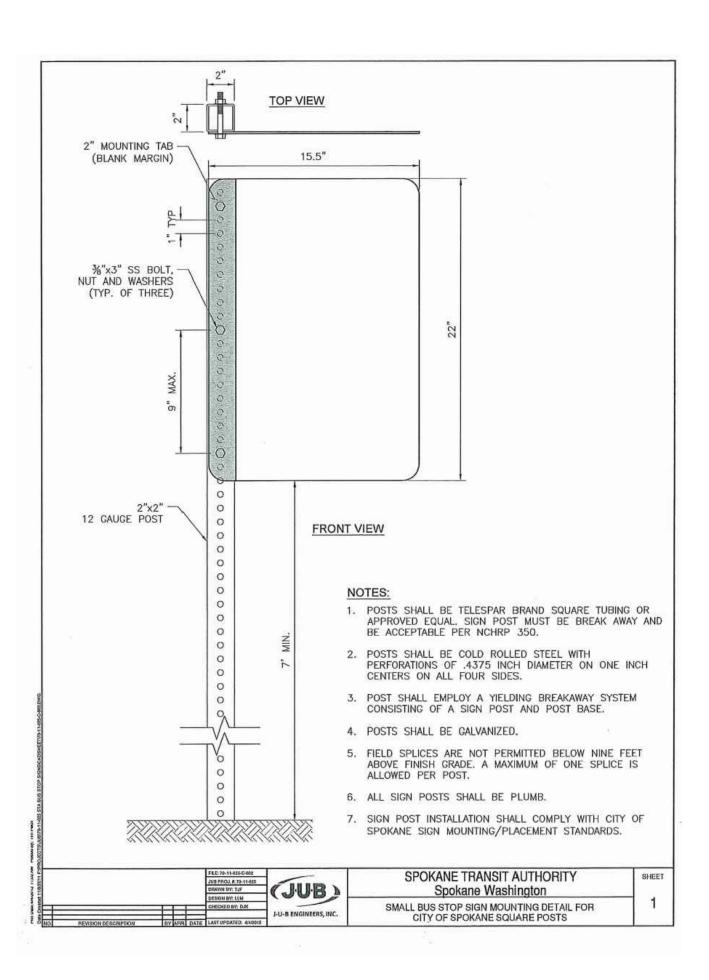
EL=2332.32



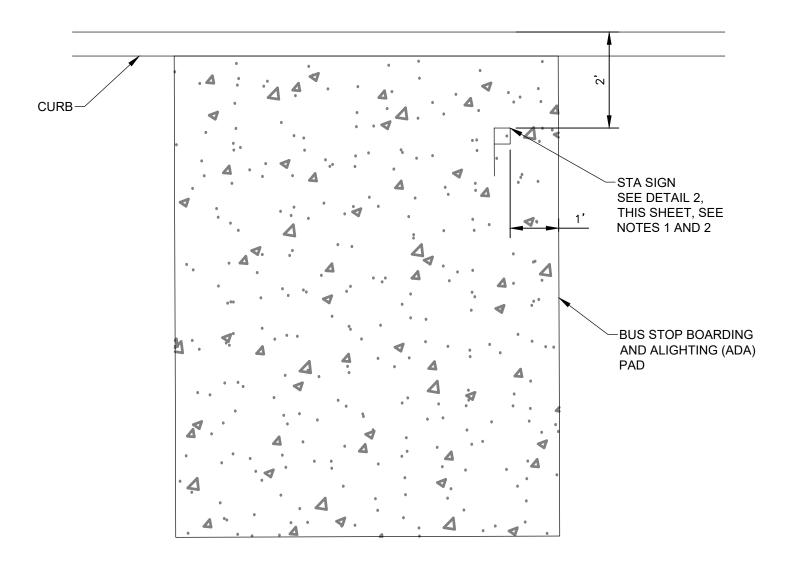
 CONTRACTOR SHALL NOT INSTALL 2" CONDUITS, STA TO INSTALL BUS SHELTER











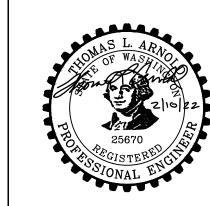
- 1. BOTTOM OF STA SIGN SHALL BE 7'-0" TO 7'-2"" FROM TOP OF CONCRETE.
- 2. STA SIGN CONTENTS SHALL FACE ONCOMING TRAFFIC AND BE FLAGGED AWAY FROM THE STREET.





ph 509.328.2994

www.coffman.com



回 H S H E



1 3-23-22 CITY COMMENTS CWD 2021-10656 2/10/2022 C1.34